



WARREN CONSOLIDATED SCHOOLS DEMOLITION VARIOUS STRUCTURES

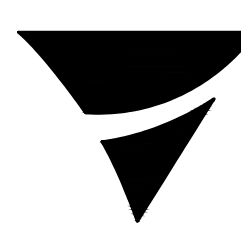
ISSUED FOR: BID ISSUE
DATE: AUGUST 25, 2023
PROJECT NO.: 231986

ARCHITECT:



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CIVIL ENGINEER



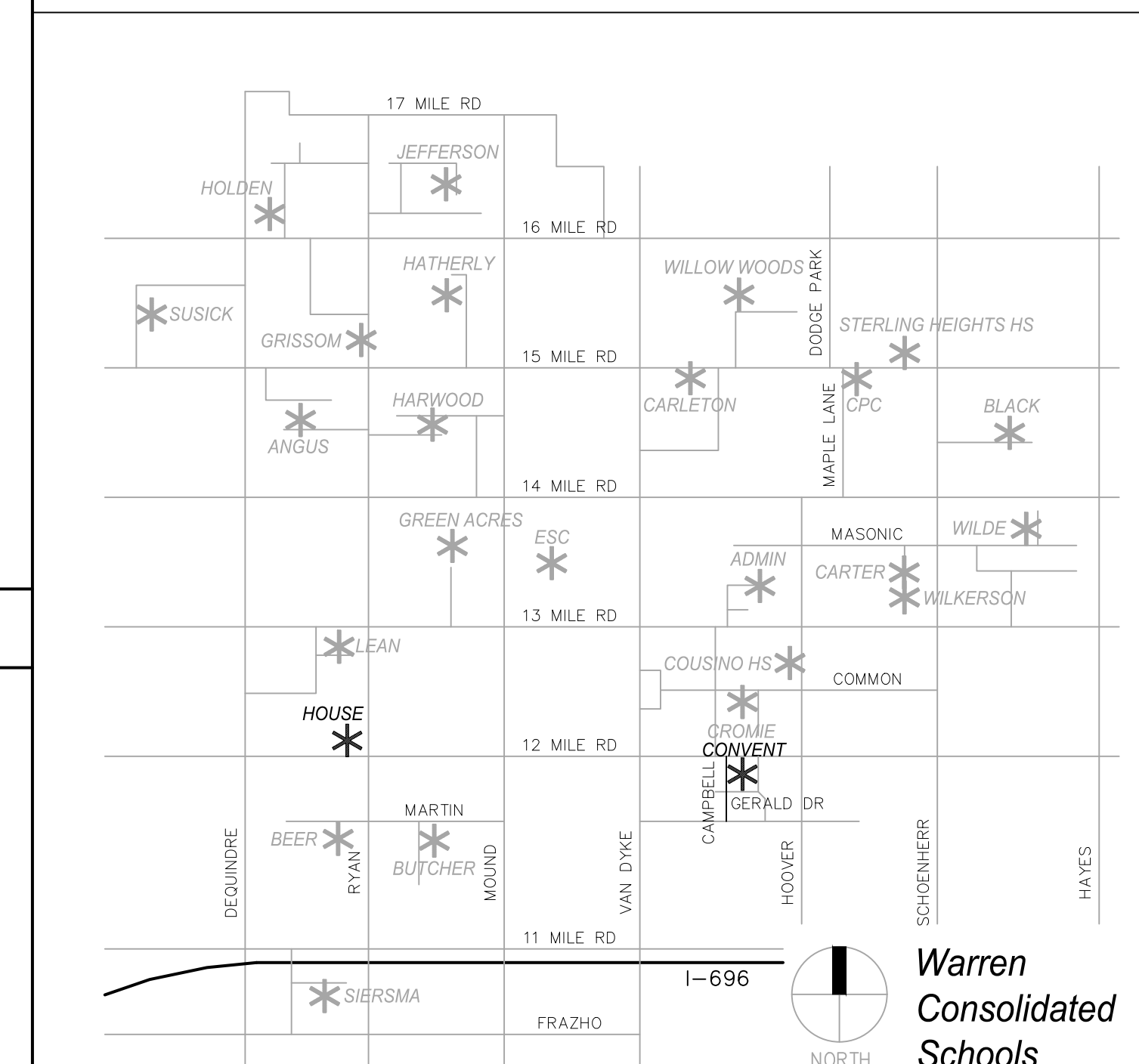
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905 SOUTH BOULEVARD EAST, ROCHESTER, MI 48307
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231986 - Warren Consolidated Schools DEMOLITION - VARIOUS STRUCTURES

Building Addresses

<u>IRENE ANGUS ELEMENTARY SCHOOL</u> 3180 HEIN DRIVE STERLING HEIGHTS, MICHIGAN 48310	<u>AGNES E. BEER MIDDLE SCHOOL</u> 3200 MARTIN ROAD WARREN, MICHIGAN 48092
<u>MARGARET BLACK ELEMENTARY SCHOOL</u> 14100 HERITAGE ROAD STERLING HEIGHTS, MICHIGAN 48312	<u>WILL CARLETON MIDDLE SCHOOL</u> 8900 15 MILE ROAD STERLING HEIGHTS, MICHIGAN 48312
<u>IRMA M. CROMIE ELEMENTARY SCHOOL</u> 29797 GILBERT DRIVE WARREN, MICHIGAN 48093	<u>LOIS E. CARTER MIDDLE SCHOOL</u> 1200 MASONIC BOULEVARD WARREN, MICHIGAN 48093
<u>GREEN ACRES ELEMENTARY SCHOOL</u> 4655 HOLMES DRIVE WARREN, MICHIGAN 48092	<u>VIRGIL I. GRISSOM MIDDLE SCHOOL</u> 35701 RYAN ROAD STERLING HEIGHTS, MICHIGAN 48310
<u>HOMER HARWOOD ELEMENTARY SCHOOL</u> 4900 SOUTHLAWN DRIVE STERLING HEIGHTS, MICHIGAN 48310	<u>PAUL K. COUSINO HIGH SCHOOL</u> 30333 HOOVER ROAD WARREN, MICHIGAN 48093
<u>HATHERLY EDUCATIONAL CENTER</u> 35201 DAVISON STREET STERLING HEIGHTS, MICHIGAN 48310	<u>STERLING HEIGHTS HIGH SCHOOL</u> 12901 15 MILE ROAD STERLING HEIGHTS, MICHIGAN 48312
<u>SVEN HOLDEN YEAR-ROUND ELEMENTARY SCHOOL</u> 37565 CALKA DRIVE STERLING HEIGHTS, MICHIGAN 48310	<u>WARREN MOTT HIGH SCHOOL</u> 3131 EAST 12 MILE ROAD WARREN, MICHIGAN 48092
<u>THOMAS JEFFERSON ELEMENTARY SCHOOL</u> 37555 CAROL DRIVE STERLING HEIGHTS, MICHIGAN 48310	<u>BUTCHER EDUCATIONAL CENTER</u> 27500 COSGROVE DRIVE WARREN, MICHIGAN 48092
<u>PEARL O. LEAN ELEMENTARY SCHOOL</u> 2825 GIRARD DRIVE WARREN, MICHIGAN 48092	<u>CAREER PREPARATION CENTER</u> 12200 15 MILE ROAD STERLING HEIGHTS, MICHIGAN 48312
<u>JOHN H. SIERSMA YEAR-ROUND ELEMENTARY SCHOOL</u> 3100 DONNA AVENUE WARREN, MICHIGAN 48091	<u>ADMINISTRATION BUILDING</u> 31300 ANITA DRIVE WARREN, MICHIGAN 48093
<u>MARGARET I. SUSICK ELEMENTARY SCHOOL</u> 2200 CASTLETON DRIVE TROY, MICHIGAN 48083	<u>EDUCATIONAL SERVICE CENTER</u> 31960 MOUND ROAD WARREN, MICHIGAN 48092
<u>MAURICE M. WILDE ELEMENTARY SCHOOL</u> 32343 BUNERT ROAD WARREN, MICHIGAN 48088	<u>CONVENT</u> 11131 GERALD DR. WARREN, MICHIGAN 48093
<u>IRENE WILKERSON ELEMENTARY SCHOOL</u> 12100 MASONIC BOULEVARD WARREN, MICHIGAN 48093	<u>HOUSE</u> 3235 12 MILE RD. WARREN, MI 48092
<u>WILLOW WOODS ELEMENTARY SCHOOL</u> 11001 DANIEL DRIVE STERLING HEIGHTS, MICHIGAN 48312	

Location Map NOT TO SCALE



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AD1.1	ROOM FINISH SCHEDULE & DEMOLITION ELEVATIONS
HOUSE DRAWINGS:	
C2.01	SITE DEMOLITION PLAN
AD2.0	DEMOLITION PLANS, GENERAL NOTES, EXISTING CONDITIONS, KEYNOTES, & SYMBOL LEGEND

WARREN CONSOLIDATED SCHOOLS
DEMOLITION - VARIOUS STRUCTURES
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ARCHITECTURAL ABBREVIATION LIST

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
AC & VENT	AIR CONDITIONING & VENTILATION	dB	DECIBEL	JC	JANITORS CLOSET	QT	QUARRY TILE
A/E	ARCHITECT-ENGINEER	DBL ACT DR	DOUBLE ACTING DOOR	JT	JOINT		
AB	ARCHITECT BOLT	DECON	DECONTAMINATION			R	RADIUS
ABRSV	ABRASIVE	DEG	DEGREE	L	ANGLE	R	RISER
ABRSV THRESH	ABRASIVE THRESHOLD	DEMO	DEMOLISH DEMOLITION	LAB	LABORATORY	RB	RESILIENT BASE
ACI	AMERICAN CONCRETE INSTITUTE	DEPT	DEPARTMENT	LAM	LAMINATED	RC	ROOF CONDUCTOR
ACOUS INSUL	ACOUSTICAL INSULATION	DET	DETAIL	LAV	LAVATORY	RCV	RECEPTOR
ACOUS PNL	ACOUSTICAL PANEL	DF	DRINKING FOUNTAIN	LAV	LAVATORY	RCVG	RECEIVING
ACS DR	ACCESS DOOR	DIA	DIAMETER	LBS	LABORATORY	REC	RECESS OR RECESSED
ACS PNL	ACCESS PANEL	DIAG	DIAGONAL	LG	LONG	REF	REFERENCE
ACST	ACOUSTIC	DIAPH	DIAPHRAGM	LH	LEFT HAND	REF	REFRIGERATOR
ACST SLNT	ACOUSTICAL SEALANT	DIFF	DIFFUSER	LHR	LEFT HAND REVERSE	REG	REGISTER
ADA	AMERICANS W/ DISABILITIES ACT	DIM	DIMENSION	LH	LINEAR	REIN	REINFORCE OR REINFORCED
ADL	ADDITIONAL	DIST	DISTANCE	LKR	LOCKER ROOM	REV	REVISION
ADDN	ADDENDUM	DW	DISTILLED WATER	LL	LONG LEG	RF	RADIOGRAPHY & FLOUROSCOPY
ADDN	ADDITION	DL	DEAD LOAD	LLH	LONG LEG HORIZONTAL	RFG	ROOFING
ADJ	ADJACENT	DMF	DAMPING	LV	LONG VERTICAL	RFO	ROOF OPENING
ADJS	ADJUSTABLE	DN	DOWN	LO	LOUVER OPENING	RH	RIGHT HAND
AFF	ABOVE FINISHED FLOOR	DR	DOOR	LPT	LOW POINT LIGHT	RH	ROOF HOSE BOX
AGGR	AGGREGATE	DRP	DECAY RETARDANT PLYWOOD	LT	LIGHT	RHR	RIGHT HAND REVERSE
AHU	AIR HANDLING UNIT	DRW	DECAY RETARDANT WOOD	LTG	LIGHTING	RM	ROOM
ALT	ALTERATIONS	DS	DOWNSPOUT	LVR	LOUVER	RND	ROUND
ALUM	ALUMINUM	DT	DRAIN TILE			RO	ROUGH OPENING
ANES	ANESTHESIA, ANESTHESIOLOGY	DW	DISTILED WATER	MACH	MACHINE	RR	RAILROAD
ANOD	ANODIZED	DWG	DRAWING	MAG	MAGNET OR MAGNETIC	RS	ROOF SUMP
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	DWL	DOWEL	MAR	MARBLE	RSE	RESILIENT TILE FLOORING
APC	ACOUSTICAL PANEL CEILING			MAS	MASONRY	RTF	RETAINING
APPROX	APPROXIMATE	E	EAST	MATL	MATERIAL	RTU	ROOF TOP UNIT
ARCH	ARCHITECTURAL	EA	EACH	MB	MARKER BOARD	RV	ROOF VENTILATOR
ASPH	ASPHALT	EAC	EACH FACE	MBC	MICHIGAN BUILDING CODE	RVS	REVERSE
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	EF	ELECTRICAL INSULATION & FINISH SYSTEM	MC	MICELLANEOUS CHANNEL		
ATC	ACOUSTICAL TILE CEILING	EJ	EXPANDING JOINT	MCA	MEDICAL COMPRESSED AIR	S	SOUTH
AUTO	AUTOMATIC	EKG	ELECTRO-CARDIOGRAM	MCL	METAL CEILING (LINER)	SAB	SOUND ATTENUATION BLANKET
AVG	AVERAGE	EL	ELEVATION	MCP	METAL CEILING (PAN)	SAF	SPRAY APPLIED FIREPROOFING
		ELEC	ELECTRICAL OR ELECTRONIC	MECH	MECHANICAL	SB	SOIL BORING
B PL	BASE PLATE	ELEV	ELEVATOR	MEMB	MEMBRANE	SCHED	SCHEDULE
B/B	BACK TO BACK	EMBD	EMBEDMENT	MEMB RFG	MEMBRANE ROOFING	SDG	SIDING
BC	BOTTOM CHORD	EMER	EMERGENCY	MEZZ	MEZZANINE	SE	SOUTH/EAST
BD	BOND	EMER SHR	EMERGENCY SHOWER	MFG	MANUFACTURING	SECT	SECTION
BEV	BEVELED	EMER SHREWS	EMERGENCY SHOWER/EYE WASH	MH	MANHOLE	SECY	SECRETARY
BF	BARRIER FREE	ENCL	ENCLOSURE	MIN	MINIMUM	SGFT	STRUCTURAL GLAZED FACING TILE
BITUM	BITUMINOUS	ENTR	ENTRANCE	MISC	MISCELLANEOUS	SH	SHOWER
BL	BUILDING LINE	EQ	EQUAL	MO	MODIFIED	SHT	SHEET
BLDG	BUILDING	EQUIP	EQUIPMENT	MOD BIT	MODIFIED BITUMEN	SI	STEEL & IRON WORK
BLDG DAT	BUILDING DATUM	ER	EMERGENCY ROOM	MR	MOISTURE RESISTANT	SIM	SIMILAR
BLKG	BLOCKING	ETR	EXISTING TO REMAIN	MRT	MAGNETIC RESONANCE IMAGING	SLDG	SLIDING
BLW	BELOW	EW	EACH WAY	MTC	ELECTRIC WATER HEATER	SLDG WDW	SLIDING WINDOW
BM	BEAM	EWC	ELECTRIC WATER COOLER	MTD	MOUNTED	SLNT	SLALANT
BOS	BOTTOM OF STEEL	EWS	EYE WASH STATION	MTL	METALIC OR METAL	SP	SHORT LEG VERTICAL
BOT	BOTTOM	EX	EXCAVATE	MTL FAB	METAL FABRICATIONS	SM	SHEET METAL
BR	BEDROOM	EXC	EXCAVATE	MULL	MULLION	SP	SHAFT PARTITION
BRKT	BRACKET	EXH	EXHAUST			SPEC	SPECIFICATION
BRZ	BRONZE	EXIST	EXISTING			SPKLR	SPRINKLER
BS	BOTH SIDES	EXTR	EXTRUDED	N	NORTH	SQ	SQUARE
BSMT	BASEMENT			N2	NITROGEN	SSK	SERVICE SINK
BT	BEN			N2O	NITROUS OXIDE	SST	STAINLESS STEEL
BTWN	BETWEEN	F/F	FACE TO FACE	NARC	NARCOTICS	STA	STATION
BULLN	BULLETIN	FD	FLOOR DRAIN	NATL	NATIONAL	STAG	STAGGERED
BUR	BUILT-UP ROOFING	FEC	FIRE EXTINGUISHER CABINET	NC	NOISE CRITERIA	STC	SOUND TRANSMISSION CLASS
		FH	FLAT HEAD	NE	NORTH EAST	STD	STANDARD
C	CHANNEL	FHR	FIRE HOSE RACK/ REEL	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	STIF	STIFFENER
C TO C	CENTER TO CENTER	FIN	FINISH OR FINISHED	NIC	NOT IN CONTACT	STL	STEEL
CA	COMPRESSED AIR	FIN	FINISH OR FINISHED	NL	NIGHT LIGHT	STOR	STORAGE
CAB	CABINET	PIP	FOAMED-IN-PLACE	NO	NUMBER OR NUMBERS	STRUC	STRUCTURAL
CANTIL	CANTILEVER	FIXT	FIXTURE	NOM	NOMINAL	STRUC STL	STRUCTURAL STEEL
CATH	CATHETERIZE CATHETER	FJ	FALSE JOINT	NOUR	NOURISHMENT	SURF	SURFACE
CB	CATCH BASIN	FLASH	FLASHING	NS	NURSE STATION	SUSP	SUSPENDED OR SUSPENSION
CEM	CEMENT	FLG	FLANGE	NSF	NATIONAL SANITATION FOUNDATION	SV	SOUTH WEST
CER	CERAMIC	FLR	FLOOR	NW	NORTHWEST	SW	SWITCH
CF/CI	CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED	FM	FACTORY MUTUAL	O2	OXYGEN	SYM	SYMMETRICAL
CF/CI	CONTRACTOR FURNISHED/ OWNER INSTALLED	FNDN	FOUNDATION	O/O	OUT TO OUT		
CFMF	COLD-FORMED METAL FRAMING	FOC	FACE OF COLUMN	OB	OBSERVATION	T	TREAD
CG	CORNER GUARD	FR	FIRE RATED	OBSC GL	OBSOURE GLASS	T & G	TOUNGUE & GROOVE
CH	CORNER HOOK	FRP	FIRE RATED PLYWOOD	OBW	OBSERVATION WINDOW	T & R	TREAD & RISER
CH BD	CHALK BOARD	FRPFG	FIREPROOFING	OC	ON CENTER	TA	TOILET ACCESSORIES
CHKD	CHECKERED	FRW	FIRE RATED WOOD	OD	OUTSIDE DIAMETER	TB	TACK BOARD
CI	CAST IRON	FT	FOOT OR FEET	OF	OUTSIDE FACE	TBD	TO BE DETERMINED
CR	CIRCLE CIRCULAR CIRCULATION	FTG	FOOTING	OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED	TEL	TELEPHONE
CJ	CONTROL JOINT	FURN	FURNITURE	OFF	OFFICE	TEMP	TEMPERATURE
CL	CENTERLINE			OFRC	OVERFLOW ROOF CONDUCTOR	TERR	TERRAZZO
CLG	CEILING	g	GRAM	OFRS	COVERFLOW ROOF SLUMP	THD	THREAD
CLN	CLINICAL	GALV	GALVANIZED	OH DR	OVERHEAD DOOR	THK	THICK OR THICKNESS
CLO	CLOSET	GOW	GLAZED CURTAINWALL	OPH	OPPOSITE HAND	THRESH	THRESHOLD
CLR	CLEAR	GDR	GLAZED CURTAINWALL	OPN	OPENING	TK SD	TACKBOARD
CMU	CONCRETE MASONARY UNIT	GEN	GENERAL	OPP	OPPOSITE	TOC	TOP OF CONCRETE (ELEVATION)
CNV	CONVEYOR	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	ORIG	ORIGINAL	TOIL	TOILET
CO	CLEANOUT	GFRP	GLASS-FIBER REINFORCED PLSTIC	ORN	ORNAMENTAL	TOIL RM	TOILET ROOM
CO2	CARBON DIOXIDE	GHT	GLAZED HOLLOW TILE	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION	TOR	TOP OF RAIL (ELEVATION)
COL	COLUMN	GI	GALVANIZED IRON	OZ	OUNCE	TOS	TOP OF STEEL (ELEVATION)
COMO	COMPOSITION	GR	GRADE	PACU	POST ANESTHESIA UNIT	TOW	TOP OF WALL (ELEVATION)
CONC	CONCRETE	GR BM	GRADE BEAM	PB	PUSH BUTTON	TRAN	TRANSOM
CONF	CONFERENCE	GRD	GRADIENT	PC	PIECE OR PIECES	TV	TELEVISION
CONN	CONNECTION	GRTG	GRILLE	PEND	PENDENT	TYP	TYPICAL
CONSTR	CONSTRUCTION	GVD	GYPSUM	PERF	PERFORATED	UC	UNDERCABINET
CONSTR JT	CONSTRUCTION JOINT			PERM	PERMANENT	UG	UNDERGROUND
CONT	CONTINUATION, CONTINUE, CONTINUOUS	H	HIGH	PI	POINT OF INTERSECTION	UH	UNIT HEATER
CONTR	CONTRACTOR	HB	HOSE BIBB	PL	PROPERTY LINE	UL	UNDERWRITERS LABORATORIES
CORR	CORRIDOR	HD	HEAVY DUTY	PL GL	PLATE GLASS	UN	UNLESS NOTED
CORR	COMPRESSIBLE, COMPRESSED	HDW	HARDWARE	PLAM	PLASTIC LAMINATE	UNO	UNLESS NOTED OTHERWISE
CPRS	CARPET (SHEET)	HEX	HEXAGON	PLAS	PLASTER	URNAL	URNAL
CPS	CARPET (TILE)	HNDRL	HANDRAIL	PLBG	PLUMBING	US	UNDERSIDE
CPW	CARPET (WALL BASE)	HORIZ	HORIZONTAL	PLT	PLATE OR PLATED		
CR	CARD READER	HOSP	HOSPITAL	PLTC	PLASTIC LAMINATE TOILET COMPARTMENT	VAC	VACUUM
CR	CHAIR RAIL	HPT	HIGH POINT	PLYD	PLYWOOD	VENT	VENTILATION OR VENTILATING
CRCMF	CIRCUMFERENCE	HR	HOUR	PMF	PERMANENT METAL FORM	VERT	VERTICAL
CRIT	CRITICAL	HSKPG	HOUSE KEEPING	PNEU	PNEUMATIC	VEST	VESTIBULE
CRS	COURSE	HSS	HOLLOW STRUCTURAL SECTIONS	PNL	PANEL	VIF	VERIFY IN FIELD
CSK	COUNTER SINK	HT	HEIGHT	PORC	PORCELAIN	VIT	VITREOUS
CSS	CERAMIC TILE	HTG	HEATING	POS	POSITION	VOL	VOLUME
CT	COMPUTED TOMOGRAPHY	HVAC	HEATING VENTILATION AIR CONDITIONING	PP	PANEL POINT	VTR	VENT THROUGH ROOF
CTB	CERAMIC TILE BASE	HW	HOT WATER	PR	PREFABRICATED	WVC	VINYL WALL COVERING
CTR	CENTER CENTRAL	HYD	HYDRANT	PREFAB	PREFABRICATED	W	WEST
CTRD	CENTERED			PREP	PREPARATION	W	WIDE FLANGE SHAPES
CTRL	CONTROL			PROC	PROCESS OR PROCESSING	W	WIDE OR WIDTH
CU	CUBIC						
CW	COLD WATER						

TYPICAL NOTES

- TYPICAL CONSTRUCTION NOTES:**
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
 - ALL MATERIALS SHALL BE INSTALLED/APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S REGULATIONS.
 - CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VISITING THE JOB SITE AND FAMILIARIZING THEMSELVES WITH EXISTING CONDITIONS PRIOR TO START OF WORK. ALL FIELD CONDITIONS SHALL BE VERIFIED, AND CONSTRUCTION MANAGER NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE RECEIPT OF BIDS. FAILURE OF THE CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO THE AWARD OF BID WILL NOT BE CONSIDERED AS GROUNDS FOR AN EXTRA.
 - ALL EXISTING DIMENSIONS ARE TO BE VERIFIED IN THE FIELD BY CONTRACTOR PRIOR TO THE FABRICATION OR PURCHASE OF MATERIALS.
 - THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT. PROVIDE ALL NECESSARY TEMPORARY PROTECTION, SHORING, BRACING, ETC. AS REQUIRED TO ENSURE THE SAFETY OF THE GENERAL PUBLIC DURING CONSTRUCTION.
 - ALL ITEMS SHALL BE AS SPECIFIED BY ARCHITECT. SUBMIT SUBSTITUTION REQUESTS DURING BIDDING FOR REVIEW.
 - SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION/APPLICATION.
 - ALL DEBRIS SHALL BE LEGALLY DISPOSED OF OFF THE SITE BY THE CONTRACTOR.
 - ALL PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING MATERIALS AND CONSTRUCTION TO REMAIN.
 - CONTRACTOR SHALL CUT AND PATCH EXISTING WALLS, FLOORS, CEILING, ETC. AS REQUIRED TO COMPLETE THE WORK WITHOUT EXTRA COST TO OWNER.
 - CONTRACTOR SHALL KEEP NOISE, DUST, ETC., TO A MINIMUM STANDARD AS SET FORTH BY THE OWNER.
 - CONTRACTOR SHALL COORDINATE INSTALLATION AND PHASING OF WORK WITH THE ARCHITECT / OWNER PRIOR TO THE START OF WORK.

ARCHITECTURAL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PROJECT NORTH - TRUE NORTH AS INDICATED ONLY ON SITE PLAN		EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED		NEW DOOR
	DOOR SCHEDULE TAG		EXISTING WALL TO BE REMOVED
	INTERIOR ELEVATION SYMBOL		
	EXTERIOR ELEVATION SYMBOL		
	WALL SECTION / DETAIL		
	DETAIL OR PLAN ENLARGEMENT		
	DETAIL NUMBER		
	DETAIL TITLE - TITLES INDICATED ARE FOR CONVENIENCE ONLY AND DO NOT NECESSARILY IDENTIFY ALL LOCATIONS WHERE THE DETAIL OCCURS		
	INTERIOR ELEVATION		
	DETAIL SCALE		
	DETAIL REFERENCE - WHEN PRESENT, REFERENCE INDICATION IDENTIFIES SHEETS WHERE THE DETAIL OCCURS		
	REFERENCES INDICATED ARE FOR CONVENIENCE ONLY, AND DO NOT NECESSARILY INCLUDE ALL LOCATIONS WHERE THE DETAIL OCCURS		

SCALE : 1/4" = 1' - 0"



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FOR REVIEW ONLY - NOT FOR CONSTRUCTION

WARREN CONSOLIDATED SCHOOLS
DEMOLITION - VARIOUS STRUCTURES
WARREN, MI

GENERAL INFORMATION

PRELIMINARY

DESIGN DEVELOPMENT

CONSTRUCTION

FINAL RECORD

DRAWN BY: JMS, KAN

CHECKED BY: RAS

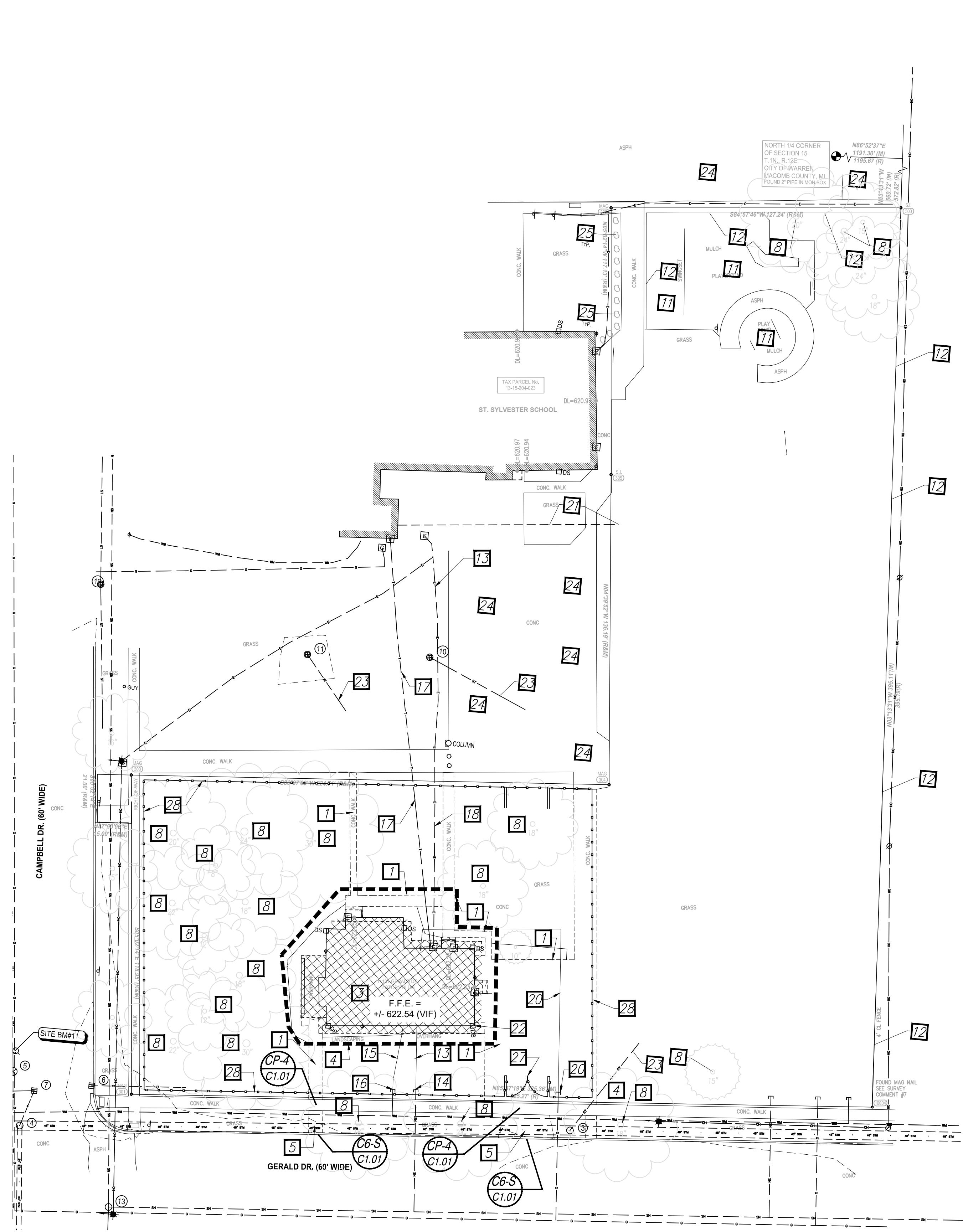
REVISIONS

DATE: AUGUST 25, 2023

SHEET NO.

G2.0

JOB NO. 231986



DEMOLITION NOTES

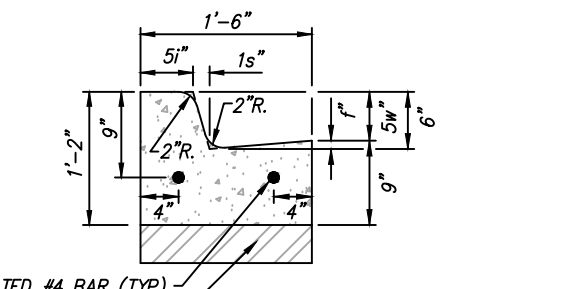
- 1 REMOVE EXISTING SITE CONCRETE INCLUDING PAVEMENT, SIDEWALK, SUPPORTED ENTRY SLAB AND STRUCTURAL FOOTINGS/PISLS TO FULL DEPTH. SIMULTANEOUSLY REMOVE ADJACENT PAVEMENT OR SIDEWALK TO REMAIN AND PROTECT ADJACENT PAVEMENT OR SIDEWALK TO REMAIN.
- 2 NOT USED
- 3 REMOVE ALL BUILDING COMPONENTS COMPLETE INCLUDING BUT NOT LIMITED TO BUILDING EXTERIOR AND INTERIOR WALLS, ROOF SYSTEM, EXISTING INTERNAL CANOPY AND SUPPORT COLUMNS, CONCRETE SLAB FLOORS, FOOTINGS/FOUNDATION AND UNDERGROUND UTILITIES WITHIN BUILDING LIMITS. BACKFILL DEMOLITION EXCAVATIONS WITH CLASS II ENGINEERED FILL UP TO PROPOSED RESTORATION GRADES AND COMPACT TO 95% MAXIMUM DENSITY.
- 4 CLEAR AND GRUB TO THE LIMITS SHOWN INCLUDING REMOVAL OF ALL SIGNS, POSTS, FOOTINGS, GRADES, BRUSH, CURBS, GATES, AND TREES NOT INDICATED FOR PROTECTION, INCLUDING POSTS, STRIP TOPSOIL AND STOCKPILE ON SITE IN DESIGNATED LOCATION.
- 5 EXISTING DRIVEWAY APPROACH TO REMAIN DURING DEMOLITION PROJECT AS THE CONSTRUCTION SITE ACCESS POINT. LOW CONSTRUCTION OF PROJECT CONCRETE INCLUDING APPROACH PAVEMENT, SIDEWALK PAVEMENT AND EXISTING CURB SHALL BE SAWCUT AND REMOVED FULL DEPTH TO THE LIMITS SHOWN. INTERIOR PAVEMENT SHALL BE SAWCUT 12" DEEP FROM THE FACE OF CURB TO ALLOW FOR NEW CURB AND GUTTER REPLACEMENT. PROTECT ADJACENT CONCRETE ROADWAY PAVEMENT TO REMAIN.
- 6 NOT USED
- 7 NOT USED
- 8 PROTECT EXISTING TREE TO REMAIN.
- 9 NOT USED
- 10 NOT USED
- 11 PROTECT EXISTING PLAYGROUND INCLUDING SURFACING AND EQUIPMENT TO REMAIN.
- 12 PROTECT EXISTING CHAIN LINK FENCE TO REMAIN.
- 13 REMOVE EXISTING SANITARY SEWER LEAD. BACKFILL REMOVAL TRENCH WITH CLASS I ENGINEERED FILL AND COMPACT TO 95% MAXIMUM DENSITY. LOCATION SHOWN IS ASSUMED. CONTRACTOR SHALL FIELD VERIFY LOCATION PRIOR TO STARTING WORK. COORDINATE LOCATION AND REMOVAL WITH THE CITY OF WARREN.
- 14 UPON LOCATING EXISTING SANITARY SEWER LEAD AND TAP LOCATION, INSTALL PERMANENT CAP ON SIDEWALK OR REMOVED SANITARY LEAD PER CITY REQUIREMENTS NEAR EXISTING PROPERTY LINE AT BACK OF EXISTING PUBLIC SIDEWALK TO REMAIN. PROTECT EXISTING PUBLIC CONCRETE WALK TO REMAIN. METHOD AND PROCESS OF CAP/BULKHEAD TO BE APPROVED BY AND COORDINATED WITH CITY.
- 15 REMOVE EXISTING WATER SERVICE LINE. BACKFILL REMOVAL TRENCH WITH CLASS II ENGINEERED FILL AND COMPACT TO 95% MAXIMUM DENSITY. CONTRACTOR SHALL FIELD VERIFY LOCATION PRIOR TO STARTING WORK. COORDINATE LOCATION, WATER SHUT DOWN AND REMOVAL WITH THE CITY OF WARREN.
- 16 UPON LOCATING EXISTING WATER SERVICE LINE AND TAP LOCATION, INSTALL PERMANENT CAP ON EXISTING PUBLIC SIDEWALK TO REMAIN. PROTECT EXISTING PUBLIC CONCRETE WALK TO REMAIN OR REPLACE INSIDE NOTES ON THE PLANS. METHOD AND PROCESS OF CAP TO BE APPROVED BY AND COORDINATED WITH CITY.
- 17 EXISTING UNDERGROUND TELECOMMUNICATIONS LINE TO BE DISCONNECTED FROM THE BUILDING AND REMOVED BACK TO EXISTING TRANSFORMER. IF MAIN FEED OR PROPERTY LINE PER LOCAL ELECTRICAL COMPANY'S REQUIREMENTS. COORDINATE WITH LOCAL ELECTRICAL UTILITY COMPANY ON REMOVAL. PROTECT EXISTING UTILITY POLE TO REMAIN. BACKFILL REMOVAL TRENCH WITH CLASS II ENGINEERED FILL AND COMPACT TO 95% MAXIMUM DENSITY.
- 18 EXISTING UNDERGROUND ELECTRICAL FEED TO BE DISCONNECTED FROM BUILDING AND REMOVED BACK TO EXISTING TRANSFORMER. IF MAIN FEED OR PROPERTY LINE PER LOCAL ELECTRICAL COMPANY'S REQUIREMENTS. COORDINATE WITH LOCAL ELECTRICAL UTILITY COMPANY ON REMOVAL. PROTECT EXISTING UTILITY POLE TO REMAIN. BACKFILL REMOVAL TRENCH WITH CLASS II ENGINEERED FILL AND COMPACT TO 95% MAXIMUM DENSITY.
- 19 NOT USED
- 20 EXISTING UNDERGROUND GAS SERVICE LINE INCLUDING METER TO BE REMOVED AND CAPPED WHERE NOTED ON PLAN AND PER THE REQUIREMENTS OF THE LOCAL GAS COMPANY. COORDINATE WITH LOCAL GAS COMPANY ON REMOVAL. BACKFILL REMOVAL TRENCH WITH CLASS II ENGINEERED FILL AND COMPACT TO 95% MAXIMUM DENSITY.
- 21 EXISTING UNKNOWN UTILITY PER GROUND PENETRATING RADAR INVESTIGATION. CONTRACTOR SHALL FIELD VERIFY THE TYPE, LOCATION AND DEPTH OF EXISTING UTILITY AND DISCONNECT/REMOVE AS NECESSARY. NOTIFY ENGINEER IF CONFLICT EXISTS.
- 22 EXISTING OVERHEAD WIRES TO BE DISCONNECTED FROM THE BUILDING AND REMOVED BACK TO EXISTING UTILITY POLE TO REMAIN PER LOCAL UTILITY COMPANY'S REQUIREMENTS. COORDINATE WITH LOCAL UTILITY COMPANY ON REMOVAL. PROTECT EXISTING UTILITY POLE TO REMAIN.
- 23 EXISTING ROUTE OF EXISTING STORM SEWER IS UNKNOWN. FIELD INVESTIGATE TO DETERMINE IF PIPE IS CONNECTED TO EXISTING BUILDING TO BE DEMOLISHED. IF CONNECTED, DISCONNECT AND INSTALL PERMANENT CAP/BULKHEAD AT PROPERTY LINE. NOTIFY ENGINEER IF CONFLICT EXISTS.
- 24 CONTRACTOR SHALL UTILIZE A PRIVATE UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY, AT NO COST TO THE PROJECT, TO REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- 25 PROTECT EXISTING CONCRETE SIDEWALK PLAZA IMMEDIATELY WEST OF PYROM BUILDING AND NORTH ASPHALT PAVEMENT PARKING LOT AREAS TO REMAIN. NO CONSTRUCTION TRAFFIC, STAGING OR PARKING SHALL BE ALLOWED ON THESE AREAS DURING THE DURATION OF CONSTRUCTION, AND EXISTING CONDITIONS SHALL BE DOCUMENTED WITH EXTENSIVE PRE-CONSTRUCTION PHOTOGRAPHS AND VIDEOS.
- 26 PROTECT EXISTING DECORATIVE/BARRIER BOLLARDS NORTH OF PYROM BUILDING TO REMAIN IN PLACE (APPROXIMATE TOTAL OF 11).
- 27 NOT USED
- 28 PROPOSED TEMPORARY CONSTRUCTION FENCE DATE.
- 29 PROPOSED TEMPORARY CONSTRUCTION FENCE.

ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES (INCLUDING BUT NOT LIMITED TO BUILDING DEMOLITION UTILITY PIPES REMOVAL, ETC.) SHALL BE BACKFILLED WITH CLEAN CLASS II ENGINEERED FILL MATERIAL, IN 6" MAXIMUM LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED RESTORATION ELEVATION. CONTRACTOR SHALL SUBMIT MATERIAL CERTIFICATION FOR ALL CLASS II FILL MATERIAL PRIOR TO PLACING.

CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.

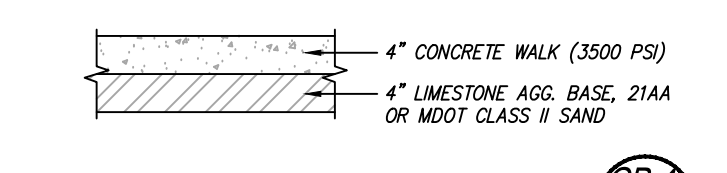
CONTRACTOR TO PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.

CONTRACTOR'S BID SHALL INCLUDE EXPORT OF ALL MATERIALS NO MATTER IF IT OCCURS WHILE PROTECT LAW RESTRICTIONS ARE IN EFFECT OR AFTER THEY ARE LIFTED.



SPRINT COATED #4 BAR (TYP)
 4" LIMESTONE AGG. BASE, 21AA
 NOTE: MATCH DIMENSIONS OF ADJACENT CURB TO REMAIN AND THE PROPOSED INTO EXISTING TO REMAIN.

DETAIL
 6" CURB & GUTTER STANDARD PAN (ADJUST TYPE 7)



DETAIL
 4" CONCRETE WALK

GENERAL NOTES:

1. PRIOR TO ANY DEMOLITION WORK, OWNER SHALL CONTACT UTILITY PROVIDERS TO COORDINATE SHUTOFF OF ALL UTILITY SERVICES TO THE BUILDING. CONTRACTOR TO CONFIRM SHUTOFF IS COMPLETE WITH OWNER PRIOR TO STARTING ANY DEMOLITION WORK.
2. DEMOLITION CONTRACTOR TO REMOVE ALL MAN MADE OBJECTS WITHIN THE LIMITS OF DEMOLITION UNLESS NOTED OTHERWISE. THERE SHALL BE NO BUILDING DEBRIS FROM THE DEMOLITION LEFT ON SITE (BURIED OR VISIBLE). THERE SHALL BE NO ROCKS ON SITE > 2" DIAMETER. OTHER AREAS TO BE ROCKS GRADED AND THEN RESPECTED BY THE OWNER UPON INSPECTION AND APPROVAL. RESTORE LAWN PER RESTORATION NOTE.
3. SIDEWALKS THAT ARE SHOWN TO BE OUTSIDE OF THE DEMOLITION LIMITS SHALL BE PROTECTED AND KEPT INTACT OR REPLACED IF DAMAGED AS PART OF CONSTRUCTION ACTIVITIES.
4. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING DEMOLITION. A PORTION OF THE EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO: THE SANITARY SEWER LEAD, THE WATER SERVICE LINE, GAS LINE, ELECTRIC LINE, FIBER OPTIC LINE, ETC. MAY BE SHOWN PER OLD PLANS OR RECORDS FURNISHED BY OTHERS. CONTRACTOR SHALL FIELD VERIFY THESE LOCATIONS AND ADJUST THEIR DEMOLITION WORK AS NECESSARY. NOTIFY THE ENGINEER AND OWNER IMMEDIATELY IF ANY CONFLICT EXISTS.
5. CONTRACTOR SHALL REMOVE ALL EXISTING RUBBLE AND DEBRIS WITHIN THE PRIMARY LIMITS OF DEMOLITION (INCIDENTAL TO CONTRACT PRICE).
6. ALL OVERHEAD AND UNDERGROUND ELECTRICAL UTILITY WORK SHALL BE COORDINATED WITH THE LOCAL ELECTRICAL COMPANY. CONTRACTOR SHALL CONTACT THE LOCAL ELECTRICAL COMPANY TO COORDINATE CONSTRUCTION SCHEDULING. ALL ASSOCIATED FEES CHARGED WILL BE PAID FOR BY THE OWNER WITH NO MARK UP.
7. ALL UNDERGROUND GAS UTILITY WORK SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY. CONTRACTOR SHALL CONTACT THE LOCAL GAS COMPANY TO COORDINATE CONSTRUCTION SCHEDULING. ALL ASSOCIATED FEES CHARGED WILL BE PAID FOR BY THE OWNER WITH NO MARK UP.
8. ALL UNDERGROUND AND OVERHEAD TELEPHONE UTILITY WORK SHALL BE COORDINATED WITH THE PHONE COMPANY. THE CONTRACTOR SHALL CONTACT THE LOCAL TELEPHONE COMPANY TO COORDINATE CONSTRUCTION SCHEDULING. ALL ASSOCIATED FEES CHARGED WILL BE PAID FOR BY THE OWNER WITH NO MARK UP.
9. ALL SCHEDULING OF PAYMENT SHALL BE APPROVED BY THE ENGINEER IN THE FIELD.
10. CONTRACTOR SHALL PROTECT EXISTING TREES DURING DEMOLITION AND GRADING OPERATIONS. REMOVE ONLY THE TREES WHICH ARE AFFECTED BY THE DEMOLITION OR NOTES FOR REMOVAL.
11. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SILT FENCE AT ALL DOWN GRADE AREAS. CONTRACTOR SHALL ALSO INSTALL LOW POINT INLET FILTERS AT EXISTING DRAINAGE STRUCTURES PRIOR TO ANY DEMOLITION WORK TO MAINTAIN A CLEAN SURFACE.
12. CONTRACTOR SHALL INSPECT SOIL EROSION CONTROL MEASURES ON A WEEKLY BASIS. IF DAMAGE IS FOUND, CONTRACTOR SHALL REPAIR DAMAGES IMMEDIATELY.
13. ALL MUD, DIRT, AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL PERIODICLY CHECK (WEEKLY AT A MINIMUM AND AFTER ALL CONSTRUCTION EVENTS THAT CAUSE MAJOR TRACKING ONTO ROADS) ALL AFFECTED ROADS WITHIN A WEEKLY BASIS TO MAINTAIN A CLEAN SURFACE.
14. CONTRACTOR SHALL REMOVE SOIL EROSION CONTROL MEASURES AS SOON AS SUBSTANTIAL TURF ESTABLISHMENT HAS BEEN ATTAINED.
15. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THIS DEMOLITION PROJECT.
16. CONTRACTOR SHALL CONTACT MESS DIG (811) THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR STAKING OF UTILITIES.
17. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL INFORMATION SHOWN ON THIS SURVEY AND NOTIFYING THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
18. CONTRACTOR SHALL UTILIZE A PRIVATE UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY, AT NO COST TO THE PROJECT, TO REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING UTILITIES.

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THESE PLANS ARE SHOWN BASED ON A COMBINATION OF FIELD LOCATED FEATURES AND BEST AVAILABLE DATA. THE ROUTING OF STORM AND SANITARY SEWER, WATER MAIN, GAS AND ELECTRICAL LINES SHOWN MAY REPRESENT A "BEST-FIT" BASED ON STRUCTURES LOCATED IN THE FIELD. OLD RECORD DOCUMENTS PROVIDED BY OTHERS, OR ASSUMED LOCATIONS BASED ON LIMITED INFORMATION, THE LINE ROUTINGS AND LOCATIONS SHOWN MAY BE APPROXIMATE AND UNLESS A SIGNIFICANT PORTION OF AN EXISTING UNDERGROUND UTILITY IS INDICATED FOR REMOVAL OR ABANDONMENT IN PLACE, AND IT IS IMPERATIVE THAT THE CONTRACTOR FIELD VERIFY EXISTING UTILITY LOCATIONS, REMOVALS, AND/OR ABANDONMENTS TO LOW FOR EVIDENCE OF EXISTING FLOORS. THE PROJECT TEAM WILL THEN DETERMINE OTHER THROUGH AVAILABLE INFORMATION OR WITH ADDITIONAL CAMERA SURVEY, WHETHER THE WORK WILL AFFECT OR IMPACT OTHER PORTIONS OF THE SITE.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

CONTRACTOR NOTE

CONTRACTOR SHALL VISIT THE SITE TO FULLY REVIEW EXISTING CONDITIONS, INCLUDING EXTENT OF EXISTING PAVEMENT, BUILDING DETAILS, TREE AND LANDSCAPE LOCATIONS AND SIZES, EXISTING UTILITY LAYOUT AND LOCATIONS, AND ALL OTHER EXISTING FEATURES TO BE AFFECTED BY THE PROJECT. DEMOLITION. BID SHALL REFLECT EXISTING CONDITIONS.

DUST CONTROL NOTE

- A. OPERATE WATER MISTING EXTERIOR DUST CONTROL SYSTEM SIMULTANEOUS TO DEMOLITION PROCEDURES.
- B. WATER MISTING IS TO MINIMIZE AND LIMIT DUST LEAVING THE SITE.

SURVEY NOTES

1. TOPOGRAPHIC AND/OR BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS MAY BE BASED ON RECORD DATA NOT MEASURED IN THE FIELD.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL INFORMATION SHOWN ON THIS SURVEY AND NOTIFYING THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL UTILIZE A PRIVATE UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY, AT NO COST TO THE PROJECT, TO REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING UTILITIES.
4. CONTRACTOR SHALL CONTACT MESS DIG (811) THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR STAKING OF UTILITIES.

GRADING NOTES

1. CONTRACTOR SHALL BACKFILL ALL AREAS OF REMOVED AND DEMOLISHED ITEMS AND GRADE AS NECESSARY FOR POSITIVE DRAINAGE. IF REMOVAL PROVIDES SLOPE AT CENTER OF DEMOLISHED BUILDING TO PROVIDE POSITIVE DRAINAGE SLOPES TO ADJACENT NON-WORK AREAS.
2. ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES (INCLUDING BUT NOT LIMITED TO BUILDING DEMOLITION, PAVEMENT REMOVAL, UTILITY PIPE REMOVAL, ETC.) SHALL BE BACKFILLED WITH CLEAN CLASS II ENGINEERED FILL MATERIAL, IN 6" MAXIMUM LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO FINAL RESTORATION SURFACE ELEVATION. CONTRACTOR SHALL SUBMIT MATERIAL CERTIFICATION FOR ALL CLASS II FILL MATERIAL PRIOR TO PLACING.
3. CONTRACTOR IS RESPONSIBLE FOR INCLUDING ALL IMPORT AND EXPORT OF MATERIALS AS NECESSARY IN THEIR BID. IMPORT MATERIALS SHALL BE ACCOUNTED FOR TO FILL ALL DEMOLITION AREAS AND TO RE-GRADE AREAS FOR POSITIVE DRAINAGE AS NOTED ABOVE. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
4. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORM WATER RUNOFF DURING CONSTRUCTION OPERATIONS. PARTICULAR CONCERN WILL BE THE PERIOD AFTER THE SITE HAS BEEN STRIPPED AND NOT SET. RESTORED SLOPE SPURS OR PADES. CONTRACTOR MUST INSTALL OR CONTRACT APPROPRIATE TEMPORARY SOIL PROTECTION AND SEDIMENTATION CONTROL MEASURES (INCLUDING BUT NOT LIMITED TO SILT FENCE AND INLET FILTERS) TO PROTECT ADJACENT PROPERTIES AND EXISTING STORM SEWER INFRASTRUCTURE.

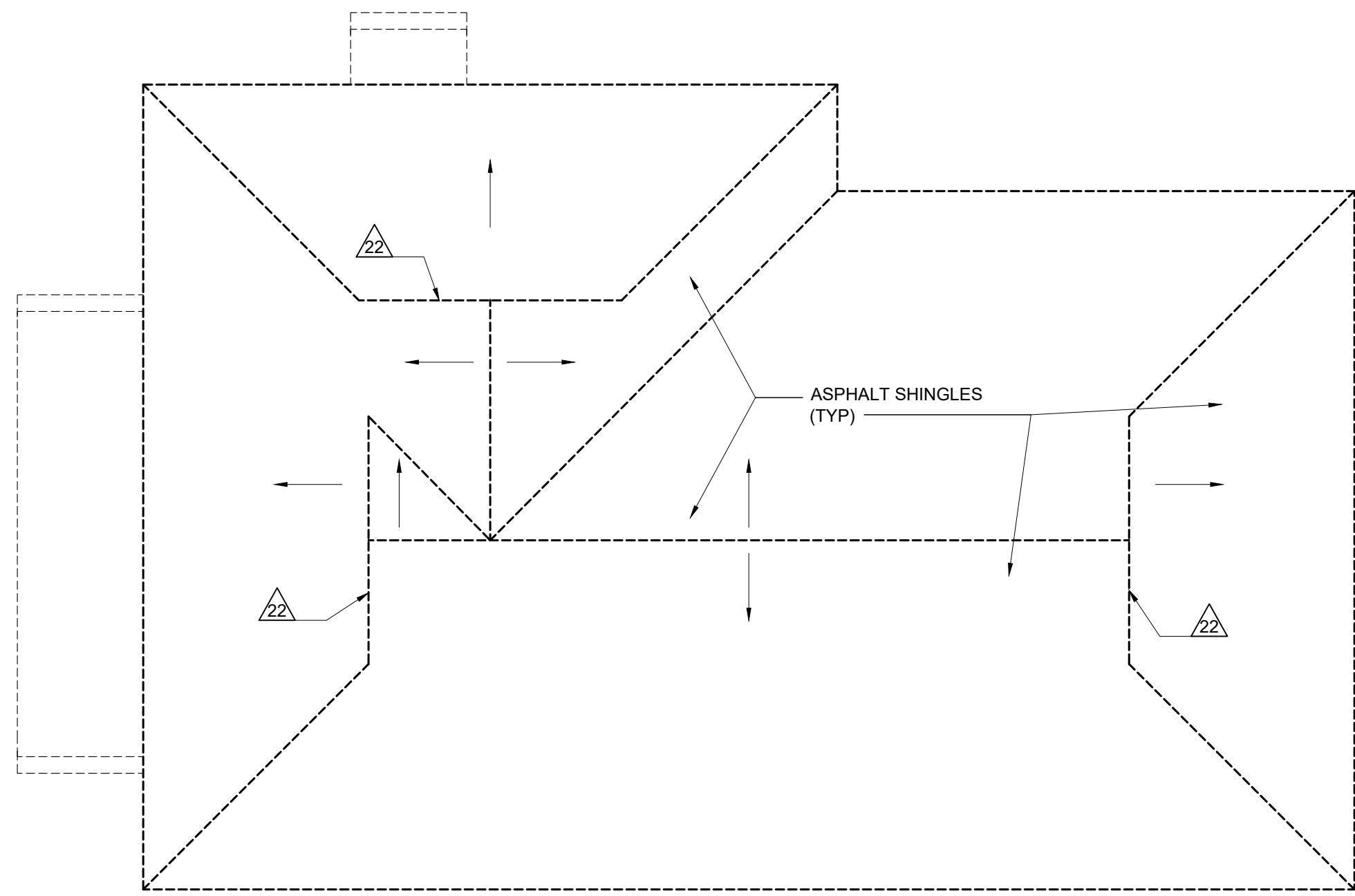
RESTORATION NOTE

RESTORE ALL DISTURBED LAWN AREAS WITH 3" OF CLEAN TOPSOIL AND HYDRONIZED SLURRY MIXTURE. HYDRONIZED SLURRY MIXTURE SHALL INCLUDE THE SEED MIX (SEE KEYNOTE) BROADCAST, SOIL PERENNIAL RYEGRASS, SOIL CREEPING RED FESCUE, FERTILIZER, TACKLER (WHERE REQUIRED AS NOTED IN SPECIFICATIONS), AND WOOD CELLULOSE FIBER MULCH. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

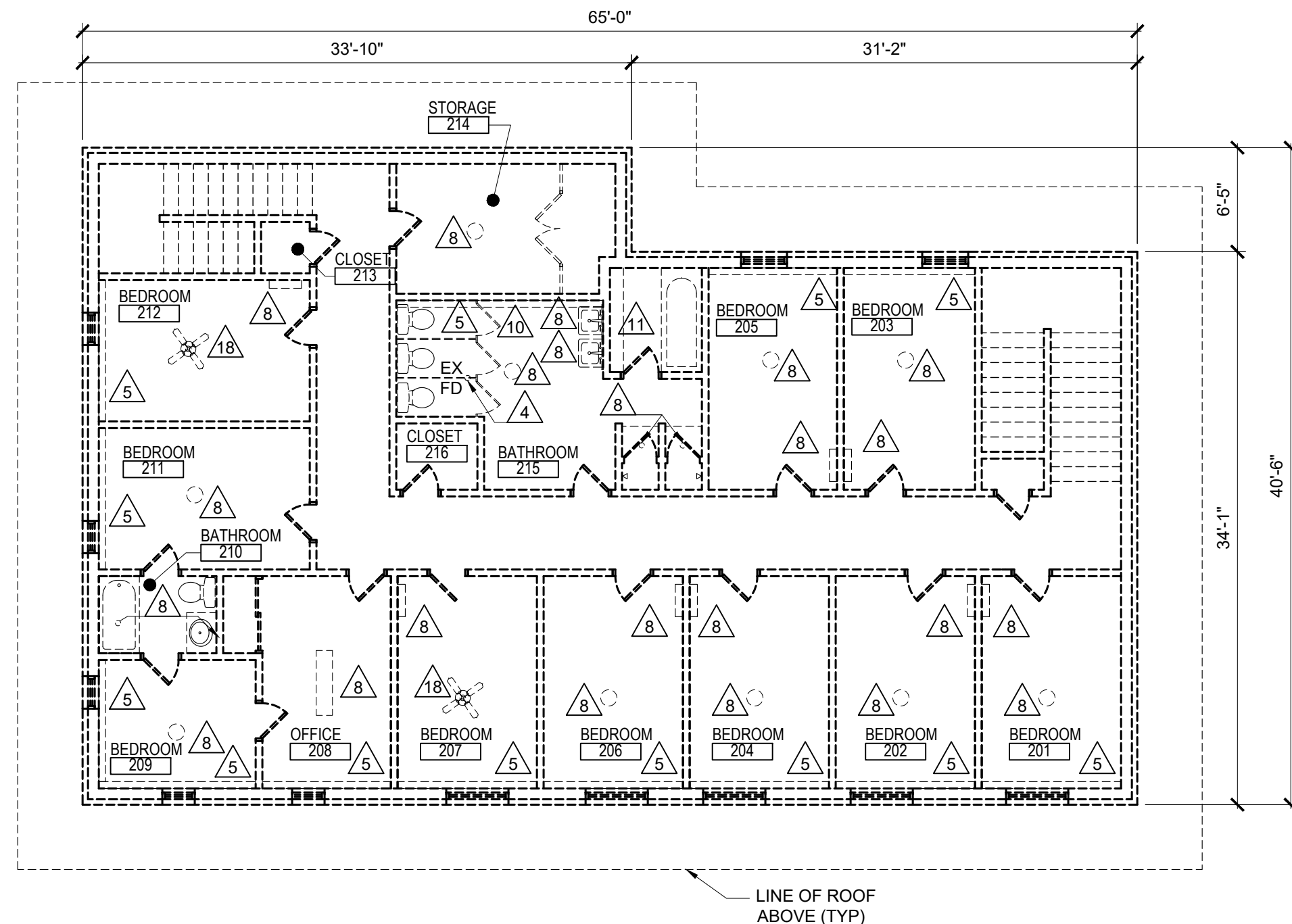
FILL AND REGRADING NOTE:

BACKFILL ALL AREAS OF REMOVED ITEMS AND GRADE AS NECESSARY FOR POSITIVE DRAINAGE. IMPORT FILL AND CREATE CROWN IN LAWN AT CENTER OF DEMOLISHED BUILDING TO PROVIDE POSITIVE DRAINAGE SLOPES TO ADJACENT NON-WORK AREAS.

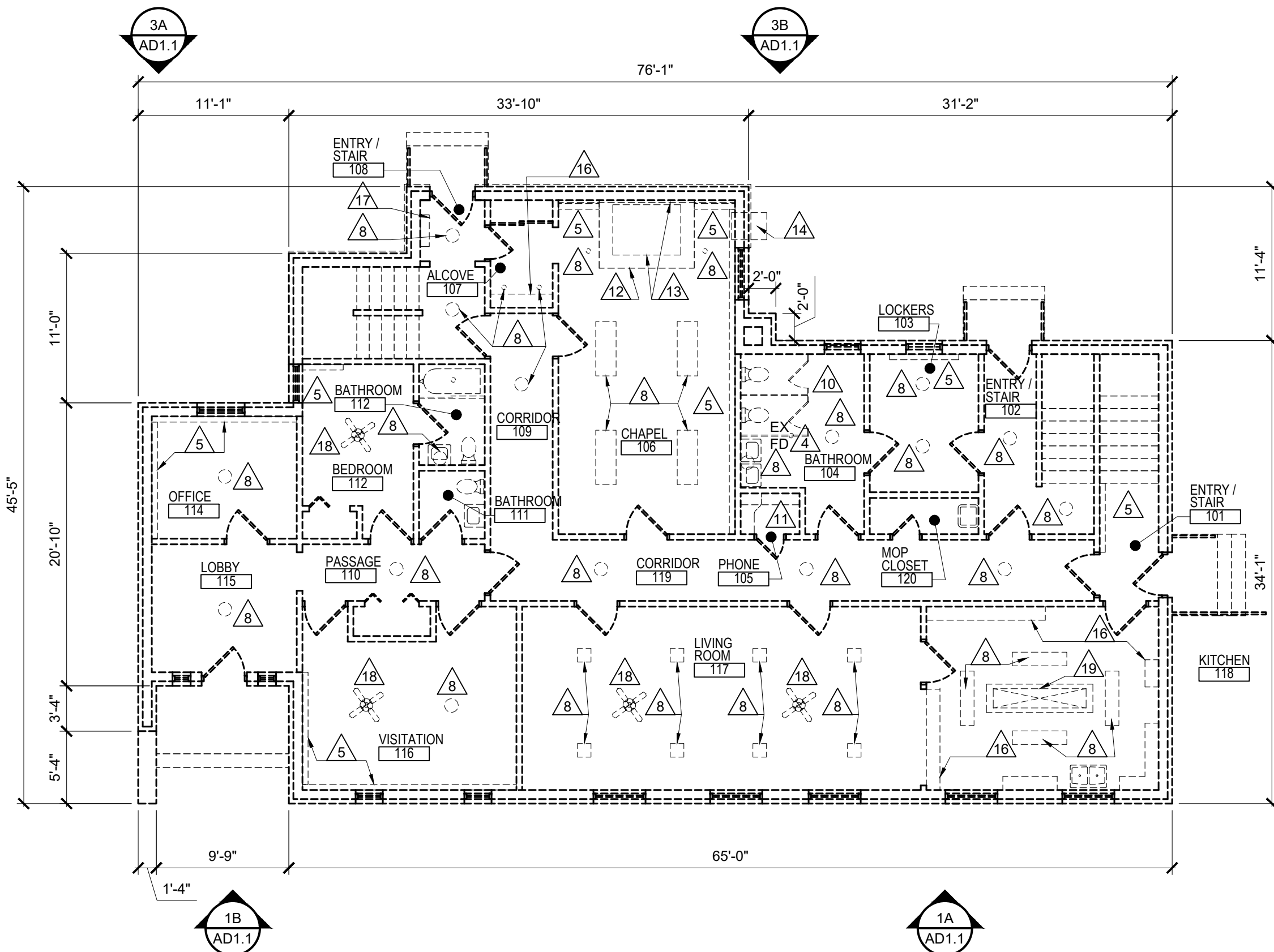
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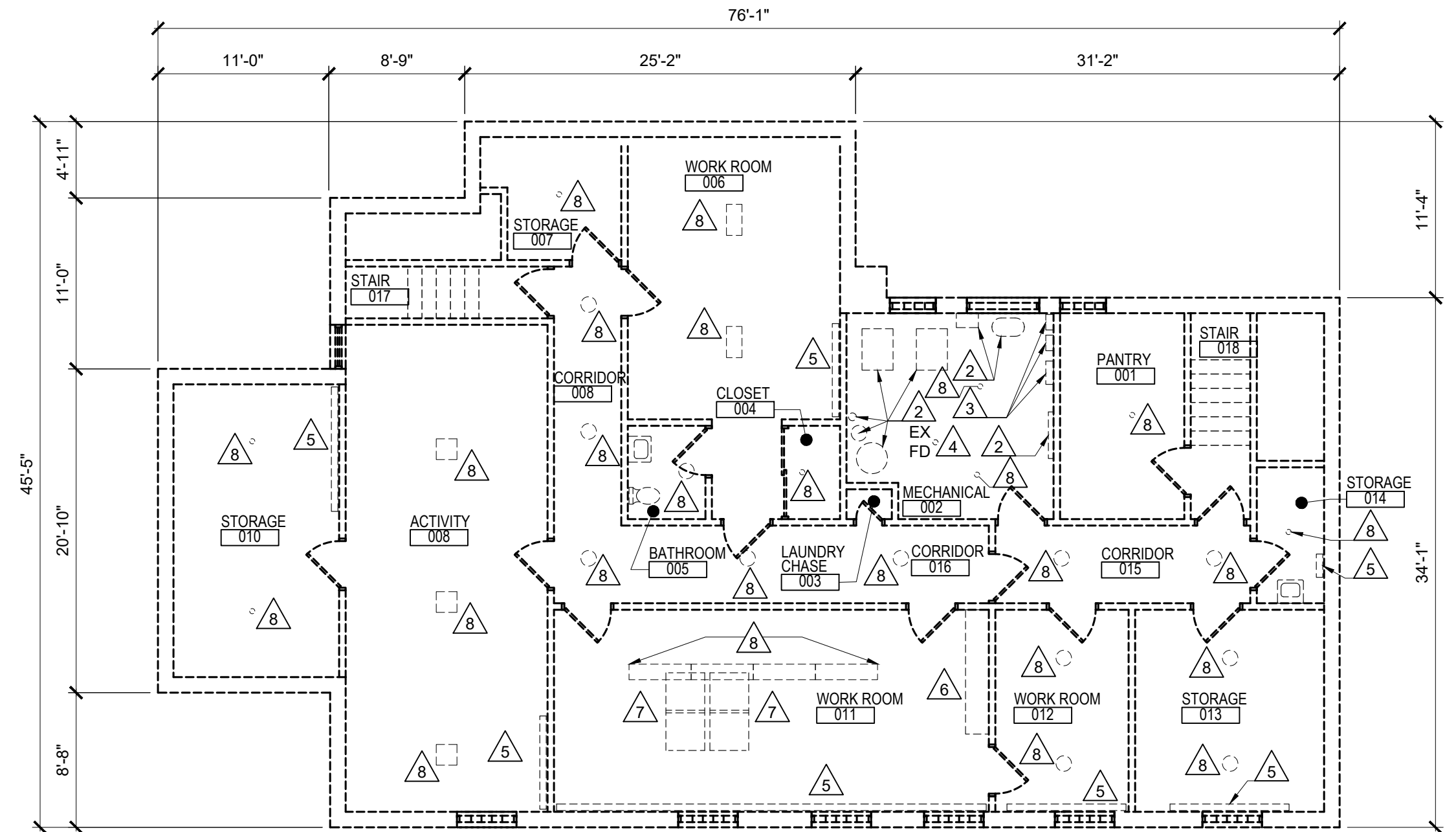
4 DEMOLITION PLAN - ROOF
AD1.0 SCALE: 1/8" = 1'-0"



3 DEMOLITION PLAN - SECOND FLOOR
AD1.0 SCALE: 1/8" = 1'-0"



2 DEMOLITION PLAN - FIRST FLOOR
AD1.0 SCALE: 1/8" = 1'-0"



1 DEMOLITION PLAN - BASEMENT
AD1.0 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- COMPLETE DEMOLITION INCLUDING FULL FOUNDATION REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DEMOLITION, CUTTING AND PATCHING, SHORING AND BRACING AS REQUIRED TO COMPLETE THE WORK SHOWN/DESCRIBED IN THE CONSTRUCTION DOCUMENTS OR AS REQUIRED TO COMPLETE THE WORK.
- REFER TO SITE DEMOLITION AND SOIL EROSION PLAN FOR REMOVAL AND/OR CAPPING OF UTILITIES.
- COORDINATE PHASING AND SEQUENCING OF DEMOLITION WITH ARCHITECT / OWNER.
- SEE SPECIFICATIONS AND PLANS FOR REMOVAL OF MATERIALS TO BE SALVAGED FOR REUSE BY OWNER.
- CONTRACTOR SHALL REFER TO ACM AND OTHER HAZARDOUS MATERIALS REPORT PRIOR TO START OF WORK. DEMO CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT FOR FURTHER DIRECTION SHOULD ACM AND/OR OTHER HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION WORK.
- CONTRACTOR TO VERIFY ALL FOUNDATIONS IN FIELD.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD INCLUDING QUANTITIES, LOCATIONS AND COMPOSITION OF ITEMS SHOWN/DESCRIBED IN THE DRAWINGS.
- ALL DIMENSIONS ARE TO BE CONSIDERED +/- (VIF).

EXISTING CONDITIONS (TYP):

- EXISTING MATERIALS (ASSUMED):**
- ROOF (ASSUMED 4:12 PITCH - VIF):
 - ASPHALT SHINGLES ON 3" PLYWOOD ON WOOD TRUSSES
 - EXTERIOR WALLS:
 - 4" MASONRY VENEER & VINYL SIDING (PREVIOUSLY REMOVED BY ABATEMENT CONTRACTOR) ON SHEATHING ON 2x WOOD FRAMING AT 1'-4" O.C.
 - INTERIOR WALLS:
 - BASEMENT = 8" CMU
 - FIRST AND SECOND FLOORS = 1/2" GYP BD ON 2x WOOD FRAMING AT 1'-4" O.C. (TYP)
 - WINDOW SYSTEMS:
 - BASEMENT = GLASS BLOCK (TYP)
 - FIRST AND SECOND FLOORS = PREVIOUSLY REMOVED BY ABATEMENT CONTRACTOR
 - FLOORS:
 - BASEMENT = 4" CONCRETE SLAB
 - FIRST AND SECOND FLOORS = 3/4" PLYWOOD ON 2X10 WOOD JOISTS
 - FOUNDATIONS:
 - 1'-0" CMU WALLS DOWN TO REINFORCED CONCRETE FOOTING.

EXISTING ELEVATIONS:

- UPPER LEVEL FIN. FLOOR = +/- 108'-4" (VIF)
- MAIN LEVEL FIN. FLOOR = +/- 100'-0" (VIF)
- EXTERIOR GRADE = +/- 98'-6" (VIF)
- BASEMENT = +/- 91'-1" (VIF)

DEMOLITION PLAN KEYNOTES:

- NOT USED
- EXIST MECHANICAL EQUIPMENT AND ALL ASSOCIATED PIPING TO BE REMOVED COMPLETE
- EXIST ELECTRICAL EQUIPMENT AND ALL ASSOCIATED WIRING AND CONDUIT TO BE CUT, CAPPED, MADE SAFE & REMOVED COMPLETE
- EXIST EXIST FLOOR DRAIN AND ALL ASSOCIATED PIPING TO BE REMOVED BACK TO MAIN COMPLETE
- EXIST BASE BOARD RADIANT HEAT SYSTEM AND ALL ASSOCIATED PIPING TO BE REMOVED COMPLETE
- EXIST WALL MOUNTED SHELVING UNIT TO BE REMOVED COMPLETE
- EXIST DOUBLE UTILITY SINK AND ALL ASSOCIATED PLUMBING TO BE REMOVED COMPLETE
- EXIST LIGHT FIXTURE TO BE REMOVED COMPLETE
- NOT USED
- EXIST TOILET PARTITION SYSTEM TO BE REMOVED COMPLETE
- EXIST WOOD SHELF AND BENCH TO BE REMOVED COMPLETE
- EXIST RAISED PLATFORM TO BE REMOVED COMPLETE
- EXIST DECORATIVE WOOD WALL & CEILING PANEL SYSTEM TO BE REMOVED COMPLETE
- EXIST AC UNIT AND PAD TO BE REMOVED COMPLETE
- NOT USED
- EXIST WALL CABINETS TO BE REMOVED COMPLETE
- EXIST CABINET UNIT HEATER TO BE REMOVED COMPLETE
- EXIST CEILING FAN / LIGHT FIXTURE TO BE REMOVED COMPLETE
- EXIST ISLAND CASEWORK AND EXHAUST HOOD / SOFFIT ABOVE TO BE REMOVED COMPLETE
- NOT USED
- NOT USED
- EXIST LOUVER TO BE REMOVED COMPLETE

ARCHITECTURAL SYMBOL LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PROJECT NORTH - TRUE NORTH AS INDICATED ONLY ON SITE PLAN		EXIST WALL TO BE REMOVED - TYPE TO BE VIF
	ROOM NAME & NUMBER		EXISTING DOOR TO BE REMOVED
	EXTERIOR ELEVATION SYMBOL		EXISTING PLUMBING EQUIPMENT TO BE REMOVED
	WALL SECTION / DETAIL		EXIST WINDOW TO BE REMOVED - TYPE TO BE VIF
			EXISTING BATH / SHOWER ENCLOSURE TO BE REMOVED

TYPICAL NOTE:
INFILL BASEMENT W/ CLASS II ENGINEERED FILL IN 8" (MAX) LIFTS & COMPACT TO 95% MAX DENSITY



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WARREN CONSOLIDATED SCHOOLS
DEMOLITION - VARIOUS STRUCTURES
WARREN, MI

CONVENT BUILDING

DEMOLITION PLANS,
GENERAL NOTES, EXISTING
EXISTING CONDITIONS
KEYNOTES, & SYMBOL
LEGEND

PRELIMINARY
DESIGN DEVELOPMENT
CONSTRUCTION
FINAL RECORD

DRAWN BY: JMS_KAN
CHECKED BY: _RAS

REVISIONS

NO.	DESCRIPTION

DATE: AUGUST 25, 2023
SHEET NO.

AD1.0

JOB NO. 231986



1B DEMOLITION ELEVATION
AD1.0 SCALE: NOT TO SCALE

PHOTO ISSUED FOR REFERENCE ONLY



1A DEMOLITION ELEVATION
AD1.0 SCALE: NOT TO SCALE

PHOTO ISSUED FOR REFERENCE ONLY



2 DEMOLITION ELEVATION
AD1.0 SCALE: NOT TO SCALE

PHOTO ISSUED FOR REFERENCE ONLY



3B DEMOLITION ELEVATION
AD1.0 SCALE: NOT TO SCALE

PHOTO ISSUED FOR REFERENCE ONLY



3A DEMOLITION ELEVATION
AD1.0 SCALE: NOT TO SCALE

PHOTO ISSUED FOR REFERENCE ONLY



4 DEMOLITION ELEVATION
AD1.0 SCALE: NOT TO SCALE

PHOTO ISSUED FOR REFERENCE ONLY

ROOM FINISH SCHEDULE (ISSUED FOR REFERENCE ONLY)

NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING		REMARKS
					MATL	HEIGHT	
BASEMENT							
001	STORAGE		EX-CONC	-	EX-8CMU	EX-PL	7'-10" -
002	MECHANICAL		EX-CONC	-	EX-8CMU	EX-PL	7'-10" -
003	LAUNDRY CHASE		EX-CONC	-	EX-8CMU	EXP	7'-10" 1
004	CLOSET		EX-CONC	-	EX-8CMU	GB	7'-10" 1
005	BATHROOM		EX-CONC	4PCT	PCT/8CMU	GB	7'-10" -
006	WORK ROOM		EX-CONC	-	EX-8CMU	GB	7'-10" 1
007	STORAGE		EX-CONC	-	EX-8CMU	EXP	7'-10" -
008	CORRIDOR		EX-CONC	-	EX-8CMU	ACT	7'-10" 1
009	ACTIVITY		EX-CONC	-	EX-8CMU	SPL	7'-10" 1
010	STORAGE		EX-CONC	-	EX-8CMU	EXP	7'-10" -
011	WORK ROOM		EX-CONC	-	EX-8CMU	GB	7'-10" 1
012	WORK ROOM		EX-CONC	-	EX-8CMU	GB	7'-10" 1
013	STORAGE		EX-CONC	-	EX-8CMU	GB	7'-10" 1
014	STORAGE		EX-CONC	-	EX-8CMU	GB	7'-10" -
015	CORRIDOR		EX-CONC	-	EX-8CMU	ACT	7'-10" 1
016	CORRIDOR		EX-CONC	-	EX-8CMU	ACT	7'-10" 1
017	STAIRS						
018	STAIRS						

FIRST FLOOR

101	ENTRY / STAIRS	PLYWD	WD	GB	GB	7'-10"	1
102	ENTRY / STAIRS	PLYWD	WD	GB	GB	7'-10"	-
103	LOCKERS	PLYWD	WD	GB	GB	7'-10"	-
104	BATHROOM	PCT	4PCT	PCT/GB	GB	7'-10"	-
105	PHONE	PLYWD	WD	GB	GB	7'-10"	-
106	CHAPEL	PLYWD	WD	GB	GB	7'-10"	-
107	ALCOVE	PLYWD	WD	GB	GB	7'-10"	-
108	ENTRY / STAIRS	PLYWD	WD	GB	GB	7'-10"	-
109	CORRIDOR	PLYWD	WD	GB	GB	7'-10"	-
110	PASSAGE	PLYWD	WD	GB	GB	7'-10"	-
111	BATHROOM	PCT	4PCT	PCT/GB	GB	7'-10"	-
112	BEDROOM	PLYWD	WD	GB	GB	7'-10"	-
113	BATHROOM	PCT	4PCT	PCT/GB	GB	7'-10"	-
114	OFFICE	PLYWD	RB	GB	SPL	7'-10"	-
115	LOBBY	PLYWD	RB	GB	SPL	7'-10"	-
116	VISITATION	PLYWD	WD	GB	SPL	7'-10"	-
117	LIVING ROOM	PLYWD	WD	GB	GB	7'-10"	-
118	KITCHEN	PLYWD	WD	GB	GB	7'-10"	-
119	CORRIDOR	PLYWD	WD	GB	GB	7'-10"	-
120	MOP CLOSET	PLYWD	WD	GB	GB	7'-10"	-

SECOND FLOOR

201	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
202	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
203	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
204	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
205	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
206	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
207	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
208	OFFICE	PLYWD	RB	GB	GB	8'-1"	-
209	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
210	BATHROOM	PCT	4PCT	PCT/GB	GB	8'-1"	-
211	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
212	BEDROOM	PLYWD	RB	GB	GB	8'-1"	-
213	CLOSET	PLYWD	WD	GB	GB	8'-1"	-
214	STORAGE	PLYWD	WD	GB	GB	8'-1"	-
215	BATHROOM	PCT	4PCT	PCT/GB	GB	8'-1"	-
216	CLOSET	PLYWD	WD	GB	GB	8'-1"	-

ROOM FINISH SCHEDULE ABBREVIATIONS:

ACT	ACOUSTICAL CEILING TILE IN METAL GRID	4PCT	4" PORCELAIN CERAMIC TILE COVE BASE
8CMU	8" CONCRETE MASONRY UNIT	RB	4" RESILIENT COVE BASE
CPT	CARPET	SPL	EXIST SPLINE CEILING SYSTEM
EXP	EXPOSED CONSTRUCTION	9VCT	9x9 VCT
GB	GYPSUM BOARD	VNYL	SHEET VINYL FLOORING
PCT	PORCELAIN CERAMIC TILE	WD	WOOD
PLYWD	PLYWOOD		

ROOM FINISH SCHEDULE GENERAL NOTES:

A. ALL EXISTING FIXTURES, APPLIANCES, FURNITURE, FURNISHINGS AND ALL OTHER CONTENT TO BE REMOVED COMPLETE (VIF)

ROOM FINISH SCHEDULE REMARKS:

1. 9x9 VCT FLOOR TILE & RESILIENT BASE TO BE REMOVED BY OTHERS



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WARREN CONSOLIDATED SCHOOLS
DEMOLITION - VARIOUS STRUCTURES
WARREN, MI

CONVENT BUILDING

FINISH SCHEDULE & DEMOLITION ELEVATIONS

PRELIMINARY
DESIGN DEVELOPMENT
CONSTRUCTION
FINAL RECORD

DRAWN BY: JMS, KAN
CHECKED BY: RAS

REVISIONS

DATE: AUGUST 25, 2023
SHEET NO.

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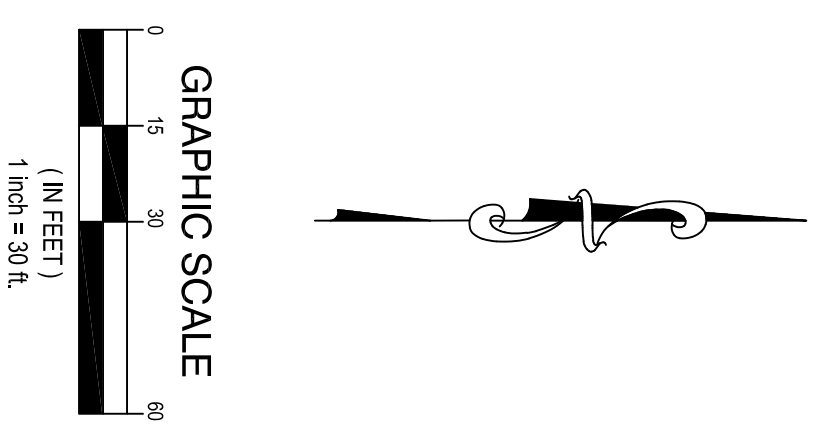
JOB NO. 231986

WARREN CONSOLIDATED SCHOOLS DEMOLITION - VARIOUS STRUCTURES WARREN, MI

HOUSE
SHEET DEMOLITION PLAN

DESIGN DEVELOPMENT
CONSTRUCTION
FINAL RECORD
DRAWN BY: JMS (KAI)
CHECKED BY: JMS
REVISIONS

DATE: AUGUST 25, 2023
SHEET NO:
JOB NO: 231986



GENERAL NOTES:

1. PRIOR TO ANY DEMOLITION WORK, OWNER SHALL CONTACT UTILITY PROVIDERS TO DETERMINE EXISTING UTILITIES AND PROVIDE LOCATION AND DEPTH OF ALL UTILITIES TO BE DEMOLISHED.
2. DEMOLITION CONTRACTOR TO REMOVE ALL MATERIAL EXISTING WITHIN THE LIMITS OF THE DEMOLITION AREA. ALL MATERIAL SHALL BE REMOVED FROM THE SITE. ALL MATERIAL SHALL BE RECYCLED OR REUSED AS PER THE CONTRACTOR'S RESPONSIBILITY. ALL MATERIAL SHALL BE RECYCLED OR REUSED AS PER THE CONTRACTOR'S RESPONSIBILITY.
3. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES.
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EXISTING UTILITY NOTE

ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. ALL UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES.

CONTRACTOR NOTE

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES.

DUST CONTROL NOTE

DUST CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE DEMOLITION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES.

SMELT NOTES

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GRADING NOTES

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RESTORATION NOTE

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FILL AND REGRADING NOTE

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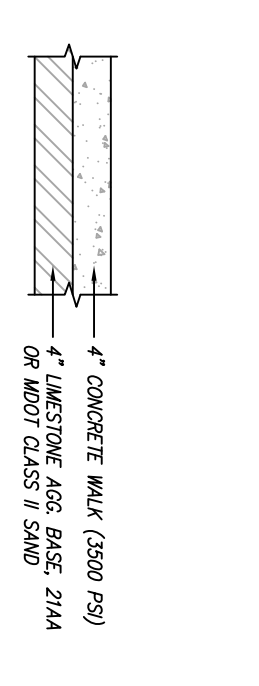
DEMOLITION NOTES

1. REMOVE EXISTING SITE CONCRETE INCLUDING PARAPETS, CONCRETE CURBS, CONCRETE SLAB AND CONCRETE FOUNDATIONS. ALL CONCRETE SHALL BE REMOVED AND DISPOSED AS PER THE CONTRACTOR'S RESPONSIBILITY.
2. REMOVE EXISTING MASONRY AND ROOF COMPLETE.
3. EXISTING SLOPE TO REMAIN. REMOVE ALL LEAK REMEDIATION AS REQUIRED.
4. EXISTING MASONRY FINISH AND CONCRETE SLAB TO BE REMOVED COMPLETE.
5. EXISTING MASONRY FINISH AND CONCRETE SLAB TO BE REMOVED COMPLETE.
6. EXISTING MASONRY FINISH AND CONCRETE SLAB TO BE REMOVED COMPLETE.
7. EXISTING SLOPE TO REMAIN. REMOVE ALL LEAK REMEDIATION AS REQUIRED.
8. PROJECT EXISTING FENCE TO REMAIN. REMOVE ALL LEAK REMEDIATION AS REQUIRED.
9. EXISTING FENCE AND GROUND TO BE REMOVED COMPLETE.
10. EXISTING MASONRY FINISH AND CONCRETE SLAB TO BE REMOVED COMPLETE.
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29. EXISTING MASONRY FINISH AND CONCRETE SLAB TO BE REMOVED COMPLETE.
30. EXISTING MASONRY FINISH AND CONCRETE SLAB TO BE REMOVED COMPLETE.



1 SITE PLAN
SCALE: 1" = 20'

DETAIL 2311 CONCRETE WALK



DETAIL 2312 CONCRETE WALK



GENERAL NOTES:

- COMPLETE DEMOLITION INCLUDING FULL FOUNDATION REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DEMOLITION, CUTTING AND PATCHING, SHORING AND BRACING AS REQUIRED TO COMPLETE THE WORK SHOWN/DESCRIBED IN THE CONSTRUCTION DOCUMENTS OR AS REQUIRED TO COMPLETE THE WORK.
- REFER TO SITE DEMOLITION AND SOIL EROSION PLAN FOR REMOVAL AND/OR CAPPING OF UTILITIES.
- COORDINATE PHASING AND SEQUENCING OF DEMOLITION WITH ARCHITECT / OWNER.
- SEE SPECIFICATIONS AND PLANS FOR REMOVAL OF MATERIALS TO BE SALVAGED FOR REUSE BY OWNER.
- CONTRACTOR SHALL REFER TO ACM AND OTHER HAZARDOUS MATERIALS REPORT PRIOR TO START OF WORK. DEMO CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT FOR FURTHER DIRECTION SHOULD ACM AND/OR OTHER HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION WORK.
- CONTRACTOR TO VERIFY ALL FOUNDATIONS IN FIELD.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD INCLUDING QUANTITIES, LOCATIONS AND COMPOSITION OF ITEMS SHOWN/DESCRIBED IN THE DRAWINGS.
- ALL DIMENSIONS ARE TO BE CONSIDERED +/- (VIF).

EXISTING CONDITIONS (TYP):

EXISTING MATERIALS (ASSUMED):

- ROOF (ASSUMED 4:12 PITCH - VIF):
 - ASPHALT SHINGLES ON 3" PLYWOOD ON WOOD TRUSSES
- EXTERIOR WALLS:
 - VINYL SIDING ON SHEATHING ON 2x WOOD FRAMING AT 1'-4" O.C.
- INTERIOR WALLS:
 - BASEMENT = 8" CMU
 - FIRST AND SECOND FLOORS = 1/2" GYP BD ON 2x WOOD FRAMING AT 1'-4" O.C. (TYP)
- WINDOW SYSTEMS:
 - BASEMENT = FIXED ALUMINUM (TYP.)
 - FIRST AND SECOND FLOORS = ALUMINUM WINDOWS
- FLOORS:
 - BASEMENT = 4" CONCRETE SLAB (ASSUMED, VERIFY IN FIELD)
 - FIRST AND SECOND FLOORS = 3/4" PLYWOOD ON 2X10 WOOD JOISTS (ASSUMED, VERIFY IN FIELD)
- FOUNDATIONS:
 - 8" CMU WALLS DOWN TO REINFORCED CONCRETE FOOTING.

EXISTING ELEVATIONS:

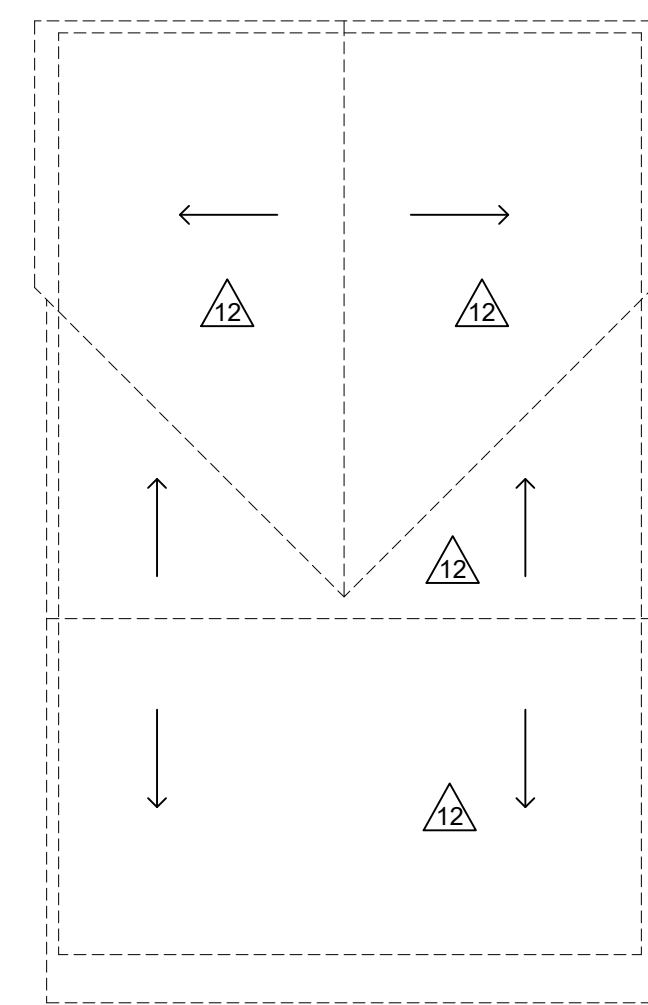
- UPPER LEVEL FIN. FLOOR = +/- 100'-0" (VIF)
- MAIN LEVEL FIN. FLOOR = +/- 1XX'-X" (VIF)
- EXTERIOR GRADE = +/- XX'-X" (VIF)
- BASEMENT = +/- XX'-X" (VIF)

DEMOLITION PLAN KEYNOTES:

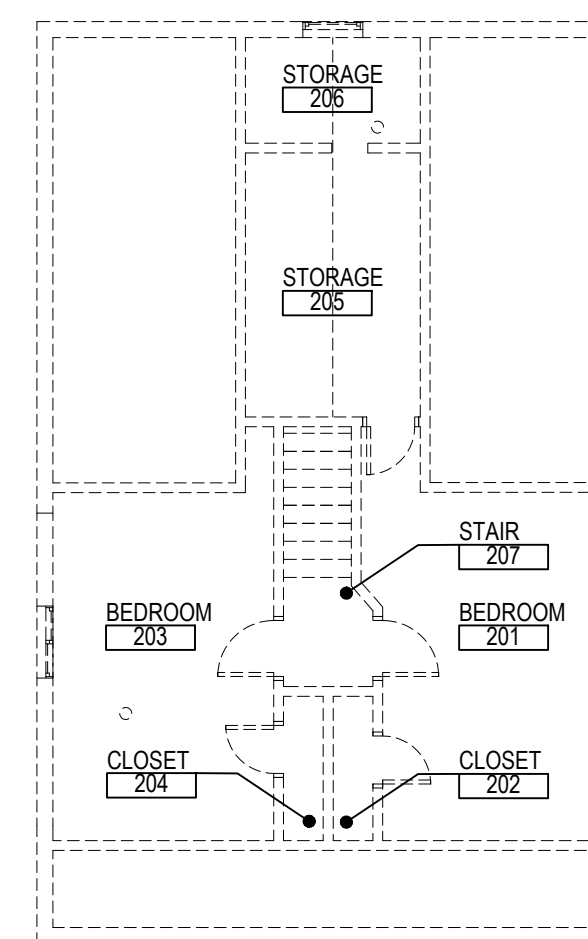
- EXISTING VINYL SIDING ON WOOD FRAMING TO BE REMOVED COMPLETE.
- EXISTING MECHANICAL EQUIPMENT AND ALL ASSOCIATED PIPING TO BE REMOVED COMPLETE.
- EXISTING ELECTRICAL EQUIPMENT AND ALL ASSOCIATED WIRING AND CONDUIT TO BE CUT, CAPPED, MADE SAFE & REMOVED COMPLETE.
- EXISTING PLUMBING FIXTURES TO BE REMOVED COMPLETE.
- EXISTING UPPER AND LOWER CABINET AND COUNTERTOP TO BE REMOVED COMPLETE.
- EXIST SHELVING AND BUILT-IN CASEWORK TO BE REMOVED COMPLETE.
- EXISTING UTILITY SINK AND ALL ASSOCIATED PLUMBING TO BE REMOVED COMPLETE.
- EXISTING AC UNIT AND PAD TO BE REMOVED COMPLETE.
- EXISTING STAIRS, RAILING, RAISED PORCH AND ALL STONE/MASONRY WALLS TO BE REMOVED COMPLETE.
- EXISTING FLOWER BED AND LOW STONE/MASONRY WALL TO BE REMOVED COMPLETE.
- EXIST WOOD SHELF AND BENCH TO BE REMOVED COMPLETE.
- EXISTING ASPHALT SHINGLES ON ROOF SHEATHING TO BE REMOVED COMPLETE.

ARCHITECTURAL SYMBOL LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	PROJECT NORTH - TRUE NORTH AS INDICATED ONLY ON SITE PLAN		EXIST WALL TO BE REMOVED - TYPE TO BE VIF
	ROOM NAME & NUMBER		EXISTING DOOR TO BE REMOVED
	EXTERIOR ELEVATION SYMBOL		EXISTING PLUMBING EQUIPMENT TO BE REMOVED
	WALL SECTION / DETAIL		EXIST WINDOW TO BE REMOVED - TYPE TO BE VIF
			EXISTING BATH / SHOWER ENCLOSURE TO BE REMOVED



4 DEMOLITION PLAN - ROOF
SCALE: 1/8" = 1'-0"

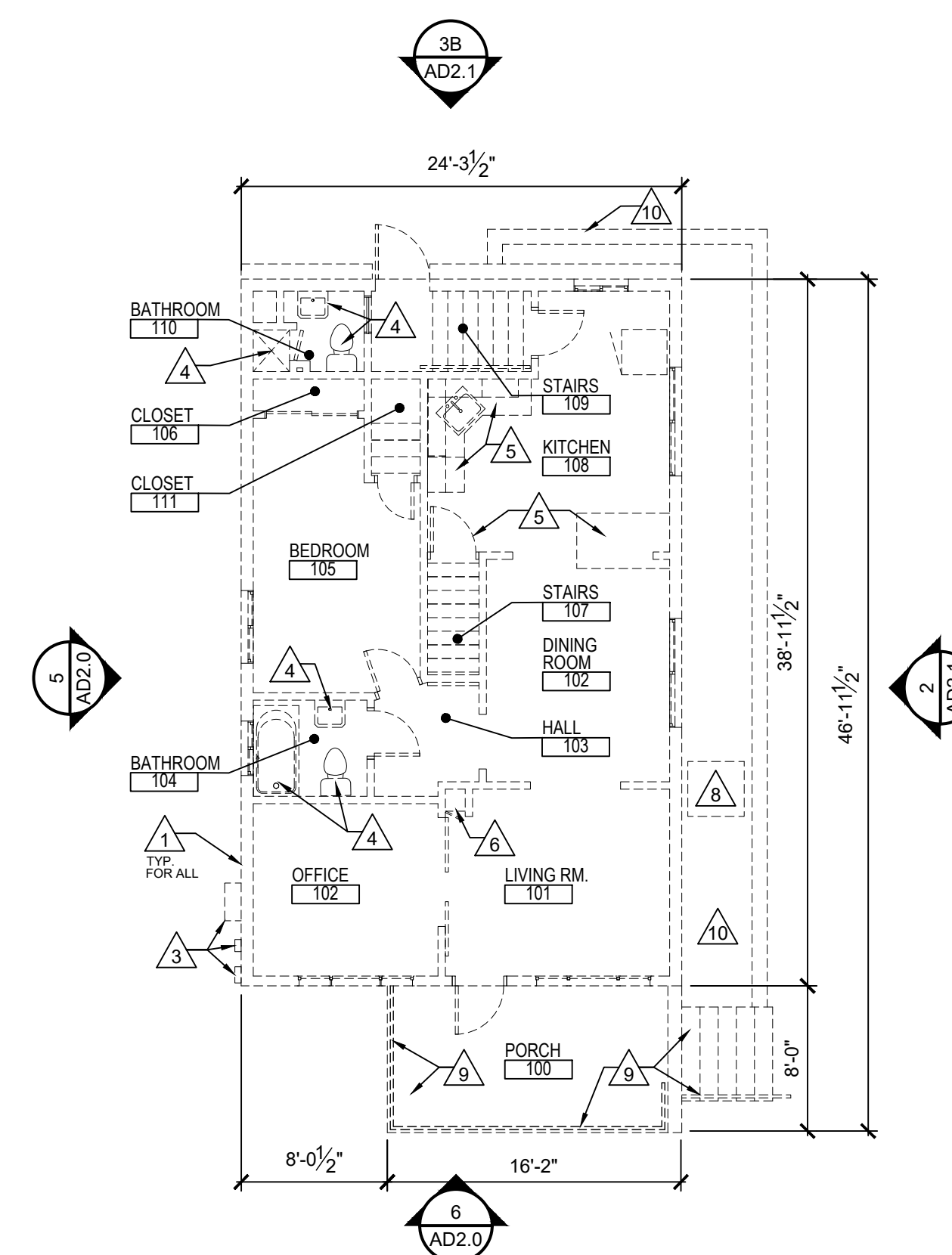


3 DEMOLITION PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"



5 DEMOLITION ELEVATION
SCALE: N.T.S.

PHOTO ISSUED FOR REFERENCE ONLY

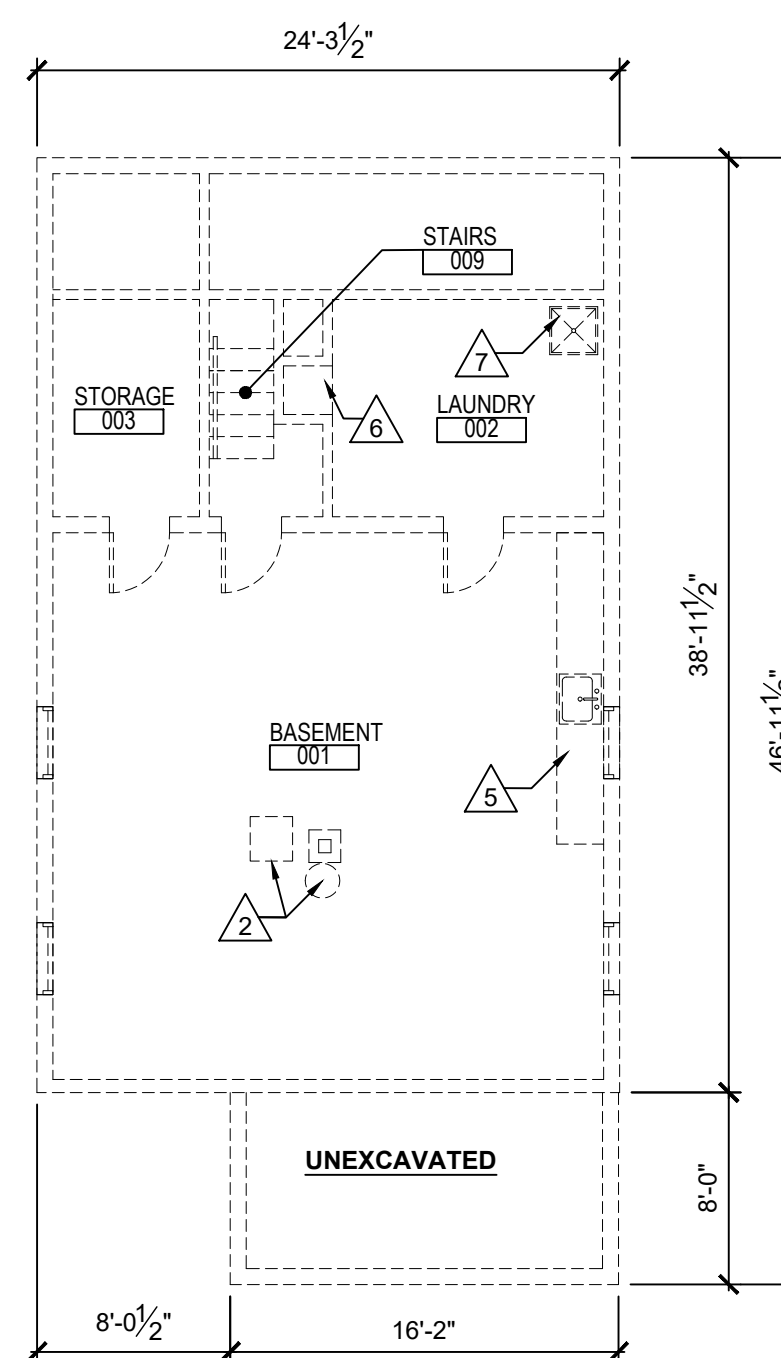


2 DEMOLITION PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"



6 DEMOLITION ELEVATION
SCALE: N.T.S.

PHOTO ISSUED FOR REFERENCE ONLY



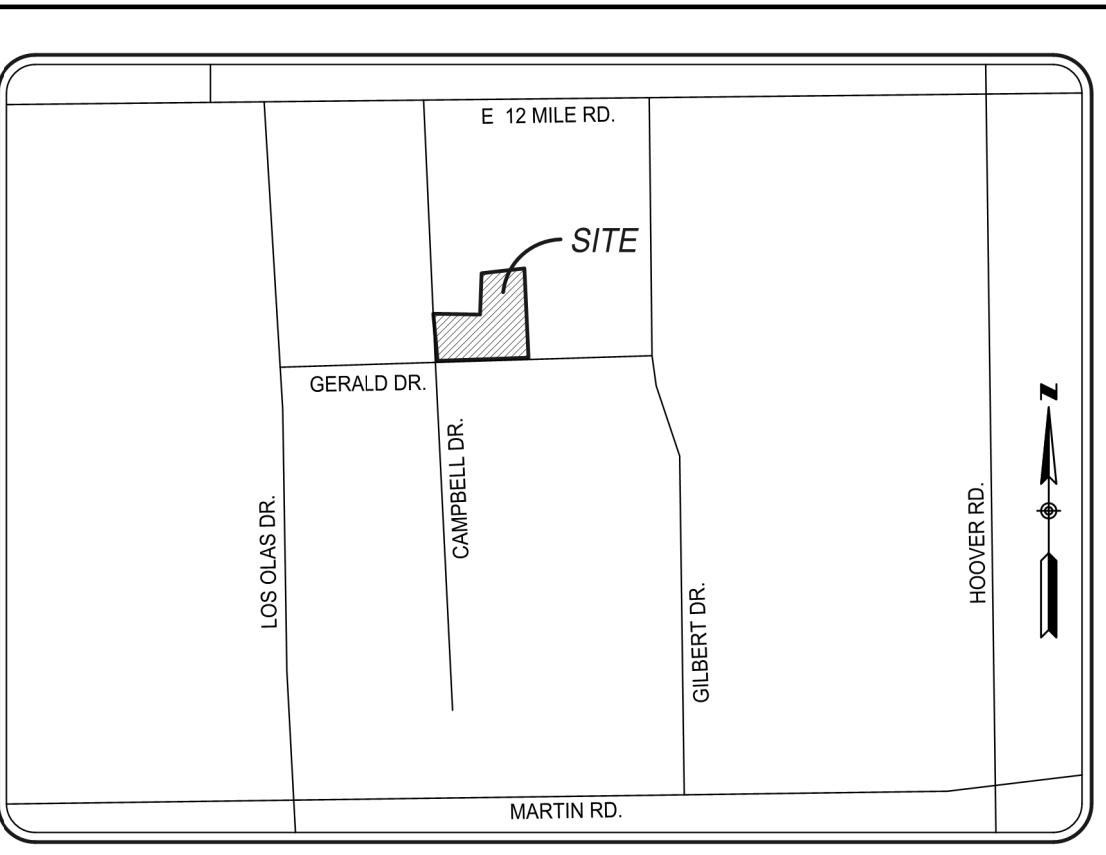
1 DEMOLITION PLAN - BASEMENT
SCALE: 1/8" = 1'-0"

TYPICAL NOTE:
INFILL BASEMENT W/ CLASS II
ENGINEERED FILL IN 8" (MAX) LIFTS
& COMPACT TO 95% MAX DENSITY

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LEGEND

- MANHOLE
- CATCH BASIN
- SEWER CLEAN OUT
- GAS METER
- GAS SHUT OFF VALVE
- VALVE BOX
- GATE VALVE & WELL
- WATER SHUT OFF VALVE
- FIRE HYDRANT
- SPRINKLER VALVE BOX
- LAWN SPRINKLER HEAD
- HAND HOLE
- ELECTRIC RISER OR METER
- TELEPHONE RISER
- CABLE TV RISER
- AIR CONDITION UNIT
- UTILITY POLE
- UTILITY POLE W/ TRANSFORMER
- UTILITY POLE W/ LAMP EXTENSION (ARROW INDICATES DIRECTION OF ARM)
- LIGHT POLE
- LIGHT POLE WITH LAMP EXTENSION
- TRAFFIC SIGNAL
- POLE W/ TRAFFIC SIGNAL (OVER ROAD)
- GUY WIRE
- GUY POLE
- GROUND LEVEL / DECORATIVE LIGHTING
- FLAG POLE
- PHONE OR PHONE BOOTH
- METAL OR CONC. POST
- MALBOX
- SIGN
- WATER FOUNTAIN
- PARKING METER
- BILLBOARD OR LARGE SIGN
- BASKETBALL HOOP
- BOULDER
- STATUE OR SCULPTURE
- BENCH
- STUMP
- CONIFEROUS TREE
- DECIDUOUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- SECTION CORNER
- TRAVERSE POINT
- STRUCTURE NUMBER
- SDA POINT NO.
- SPOT ELEVATION
- TOP OF CURB ELEVATION
- OUTTER ELEVATION
- TOP OF PAVEMENT ELEVATION
- EDGE OF METAL ELEVATION
- TOP OF WALK ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- GROUND ELEVATION
- UNDERGROUND
- FIBER OPTIC
- CONCRETE
- ASPHALT
- FINISH FLOOR ELEVATION
- DOOR EDGE ELEVATION
- FOUND IRON
- F.M. FOUND MONUMENT
- F.P.K. FOUND P.K. NAIL
- S.I. SET IRON WISDA CAP
- S.P.K. SET P.K. NAIL
- S.P.K./TAG SET P.K. NAIL WISDA TAG
- MAG SET MAGNETIC NAIL WISDA TAG
- M MEASURED
- R RECORD
- C CALCULATED
- INV. INVERT ELEVATION
- CMP CORRUGATED METAL PIPE
- G GAS
- SN SANITARY SEWER (SAN)
- STM STORM SEWER (STM)
- WM WATERMAIN (WM)
- OH OVERHEAD WIRE
- CS COMBINED SEWER
- STE STEAM LINE
- O OIL LINE
- E UG ELECTRIC (ELEC.)
- T UG PHONE (PH)
- C UG CABLE (CBL)
- CHAIN LINK FENCE (CL)
- WOOD FENCE
- WIRE FENCE (WF)
- GUARD RAIL
- EDGE OF BRUSHWOODS
- CENTERLINE OF DITCH
- CULVERT
- BANKTOP OF SLOPE
- MAJOR CONTOUR
- MINOR CONTOUR
- BOUNDARY LINES
- ROW LINES
- SECTION LINES
- PROPERTY LINES
- ASPHALT
- CONCRETE
- GRAVEL
- BRICK / PAVERS
- WATER



LOCATION MAP
NOT TO SCALE

BENCHMARK DESCRIPTIONS
DATUM: GPS-DERIVED NAVD83

SITE BM#1	ARROW ON HYDRANT LOCATED AT NORTHWEST CORNER OF CAMPBELL AND GERALD.	ELEV =621.91
SITE BM#2	ARROW ON HYDRANT LOCATED AT NORTHWEST CORNER OF GERALD AND ALINE.	ELEV =621.66
SITE BM#3	SET PUNCH DOT ON SOUTH RIM OF STORM MANHOLE ON EAST SIDE OF CAMPBELL ACROSS FROM HOUSE #26815.	ELEV =619.311

STRUCTURE TABLE

THE STRUCTURE TABLE ON THIS DRAWING IDENTIFIES THE AS-SURVEYED UNDERGROUND UTILITY MANHOLES THAT WERE FIELD MEASURED USING REASONABLE AND TRADITIONAL SURVEYING PRACTICES. PIPE SIZES, DIRECTIONS AND ELEVATIONS ARE INDICATED BY A COMBINATION OF FIELD EVIDENCE AND AVAILABLE RECORD INFORMATION. UNDERGROUND UTILITY PIPE SIZES AND CONNECTIONS ARE MANY TIMES AMBIGUOUS. SOME STRUCTURES MAY HAVE PIPES WITH UNKNOWN CONNECTIONS, SUMPS AND / OR PIPES THAT ARE FILLED WITH DEBRIS. IT WILL BE UP TO THE DESIGN ENGINEER TO LOOK AT THE PRESENTED SURVEY RESULTS AND DECIDE IF FURTHER INVESTIGATION BY OTHER METHODS SUCH AS VACUUM CLEAN OUT, UNDERGROUND RADAR, SMOKE TESTING AND PHYSICAL EXCAVATION IS REQUIRED AS AN ADDITIONAL SERVICE.

#	TYPE	RIM	SIZE	INVERT	TO	STRUCTURE/BEARING	NOTES
1	ROUND CATCH BASIN	618.81	4"	617.90	TO	SOUTHEAST	
					TO	NORTHWEST	BOTTOM
2	GATE VALVE & WELL	619.08		613.78	TO	EAST / WEST	TOP / PIPE
				613.10	TO		TOP / DEBRIS
				612.80	TO		BOTTOM
3	STORM MANHOLE	619.71	48"	612.61	TO	STR. #8	
				48"	TO	STR. #4	
				12"	TO	NORTHEAST	
				612.80	TO		BOTTOM
4	STORM MANHOLE	617.93	12"	614.32	TO	STR. #7	
				12"	TO	SOUTH	
				48"	TO	WEST	
				48"	TO	STR. #3	
				24"	TO	SOUTH	
				612.31	TO		BOTTOM
5	GATE VALVE & WELL	619.05		613.36	TO	NORTH / SOUTH	TOP / PIPE
				613.48	TO		TOP / DEBRIS
				613.32	TO		BOTTOM
6	SQUARE CATCH BASIN	617.65	12"	614.89	TO	EAST	
				614.53	TO		TOP / WATER
				611.25	TO		BOTTOM
7	SQUARE CATCH BASIN	617.72	2"	615.55	TO	WEST	
				12"	TO	614.07	NORTH
				12"	TO	612.97	SOUTH
				24"	TO	612.38	SOUTH
				613.09	TO		BOTTOM
8	STORM MANHOLE	618.24	48"	613.08	TO	EAST	
				48"	TO	STR. #3	
				12"	TO	614.07	NORTH
				12"	TO	612.97	SOUTH
				24"	TO	612.38	SOUTH
				613.09	TO		BOTTOM
9	STORM MANHOLE	619.29	12"	609.53	TO	NORTH	
				12"	TO	609.38	STR. #12
				609.71	TO		TOP / WATER
				609.67	TO		BOTTOM
10	ROUND CATCH BASIN	619.17	4"	616.07	TO	SOUTHEAST	
				615.89	TO		TOP / WATER
				614.71	TO		BOTTOM
11	ROUND CATCH BASIN	618.71		615.80	TO	SOUTHEAST	
				613.37	TO		BOTTOM
12	STORM MANHOLE	619.53	12"	608.53	TO	STR. #9	
				12"	TO	608.54	SOUTH
				608.58	TO		TOP / WATER
				608.55	TO		BOTTOM
13	SANITARY MANHOLE	618.28	12"	607.83	TO	SOUTH	
				12"	TO	607.88	EAST
				12"	TO	607.85	NORTH

LEGAL DESCRIPTION

AS PROVIDED IN TITLE COMMITMENT NO. 7210622-72017620, EFFECTIVE DATE MARCH 28, 2006 @ 2:32 PM

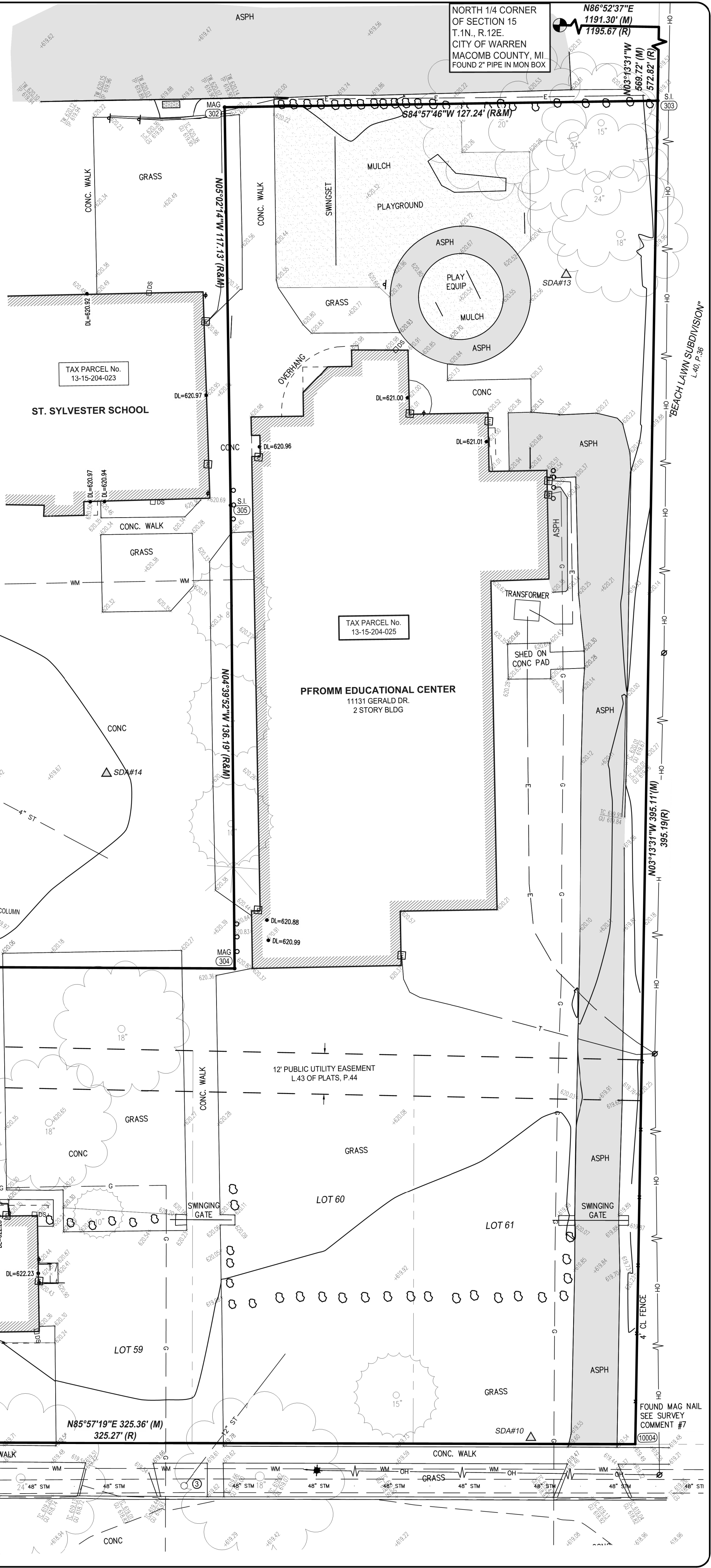
A PARCEL OF LAND LOCATED IN AND BEING A PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 15, TOWN 1 NORTH, RANGE 12 EAST, WARREN TOWNSHIP (NOW CITY OF WARREN) MACOMB COUNTY, MICHIGAN, AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 15 AS SHOWN ON THE PLAT OF "BEACH LAWN SUBDIVISION" AS RECORDED IN LIBER 40 OF PLATS, PAGE 36 OF MACOMB COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF SAID SECTION 15 AS SHOWN ON SAID PLAT OF "BEACH LAWN SUBDIVISION", NORTH 89 DEGREES 52 MINUTES 25 SECONDS EAST 1195.67 FEET TO THE NORTHWEST CORNER OF SAID "BEACH LAWN SUBDIVISION"; THENCE ALONG THE WEST LINE OF SAID "BEACH LAWN SUBDIVISION", SOUTH 00 DEGREES 20 MINUTES 52 SECONDS EAST 572.82 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID WEST LINE OF "BEACH LAWN SUBDIVISION", SOUTH 00 DEGREES 20 MINUTES 59 SECONDS EAST 282.16 FEET TO THE NORTHEAST CORNER OF "BEACH LAWN SUBDIVISION NO. 2" AS RECORDED IN LIBER 43 OF PLATS, PAGE 44 OF MACOMB COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF SAID "BEACH LAWN SUBDIVISION NO. 2" AND THE EXTENSION THEREOF, SOUTH 89 DEGREES 52 MINUTES 25 SECONDS WEST 344.05 FEET TO THE EAST LINE OF "MIAMI SUBDIVISION NO. 2" AS RECORDED IN LIBER 43 OF PLATS, PAGES 1 AND 2 OF MACOMB COUNTY RECORDS; THENCE ALONG SAID EAST LINE OF "MIAMI SUBDIVISION NO. 2" ALSO BEING 15.00 WEST OF THE EAST RIGHT-OF-WAY LINE OF CAMPBELL DRIVE (60 FOOT WIDE), NORTH 02 DEGREES 09 MINUTES 55 SECONDS WEST 21.00 FEET; THENCE LEAVING SAID EAST LINE, NORTH 88 DEGREES 59 MINUTES 22 SECONDS EAST 224.71 FEET; THENCE NORTH 01 DEGREES 47 MINUTES 30 SECONDS WEST 195.19 FEET; THENCE NORTH 02 DEGREES 09 MINUTES 55 SECONDS WEST 117.13 FEET; THENCE NORTH 87 DEGREES 50 MINUTES 05 SECONDS EAST 127.24 FEET TO THE POINT OF BEGINNING, ALSO LOTS 61 BOTH INCLUSIVE, OF SAID "BEACH LAWN SUBDIVISION NO. 2" SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY OF RECORD.

SURVEYOR'S COMMENTS

- THIS TOPOGRAPHICAL MAP IS BASED UPON A FIELD SURVEY PERFORMED BY SPALDING DEDECKER DURING JANUARY 2020.
- THE PROPERTY LINES/RIGHT-OF-WAY LINES SHOWN ON THIS TOPOGRAPHICAL SURVEY HAVE BEEN SURVEYED AND MONUMENTED BASED UPON A COMBINATION OF A PROVIDED LEGAL DESCRIPTION, FOUND FIELD MONUMENTATION AND OCCUPATION. A NEW LEGAL DESCRIPTION WITH AS SURVEYED DIMENSIONS HAS NOT BEEN COMPLETED PER THE AGREED TO SCOPE OF SERVICES.
- THIS SURVEY HAS BEEN PREPARED WITH TITLE POLICY 7210622-72017620 DATED MARCH 28, 2006. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAY TAKINGS AND RESTRICTIVE COVENANTS THAT COULD ENCUMBER THIS PARCEL OF LAND AFTER THE DATE OF SAID TITLE POLICY.
- THE BEARING AND COORDINATES OF THIS DRAWING ARE BASED UPON THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83, INTERNATIONAL FEET, 2011 ADJUSTMENT. CONTROL WAS ESTABLISHED BY GPS OBSERVATION USING THE AVAILABLE MDOT CONTINUOUSLY OPERATING STATIONS (CORS).
- THE VERTICAL DATUM OF THIS SURVEY IS BASED UPON NAVD 88. CONTROL WAS ESTABLISHED BY GPS OBSERVATION USING THE AVAILABLE MDOT CONTINUOUSLY OPERATING STATIONS (CORS).
- THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED UPON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS. A MISS DIG DESIGN TICKET NUMBER OF A00020252-00A HAS BEEN REFERENCED TO THIS PROJECT AND A UTILITY PROVIDER CHART IS SHOWN ON THIS DRAWING. THERE ARE NO ASSURANCES THAT ALL PROVIDERS HAVE RESPONDED AND THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN AND/OR POSITIONED PROPERLY ON THIS DRAWING DUE TO AMBIGUOUS PLANS AND RECORDS PROVIDED TO US. THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED TO BE USED AS A GUIDE FOR POSSIBLE UNDERGROUND UTILITY CONFLICTS. IT IS THE RESPONSIBILITY OF OTHERS TO VERIFY THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITY THROUGH THE MISS DIG FIELD VERIFICATION SYSTEM PRIOR TO ANY SITE EXCAVATION. CALL 811 OR 800-452-7171.
- A BROKEN MAG NAIL WAS FOUND AT THE SOUTHEAST CORNER OF THE PROPERTY. SDA REMOVED THE MAG NAIL AND REPLACED IT WITH A BRASS CAP WITH A CENTER PUNCH.
- THE ORIGINAL NORTH LINE OF SECTION 15 AS ESTABLISHED BY MEASURING FIELD OCCUPATION OF THE PLATS OF BEACH LAWN SUB. BEACH LAWN SUB. NO. 2 AND MIAMI SUBDIVISION NO. 2 FALLS OVER 3 FEET NORTH OF SECTION LINE AS ESTABLISHED BY MACOMB COUNTY REMONUMENTATION.
- A GROUND PENETRATING RADAR SCAN WAS PERFORMED BY GPRS ON JANUARY 3, 2020 AND GIVEN A JOB NUMBER OF 189543. SPALDING DEDECKER HAS INCORPORATED THIS SCANNED DATA WITH OUR FIELD MEASUREMENTS AND RECORD UTILITY INFORMATION AS SHOWN ON OUR DRAWING.



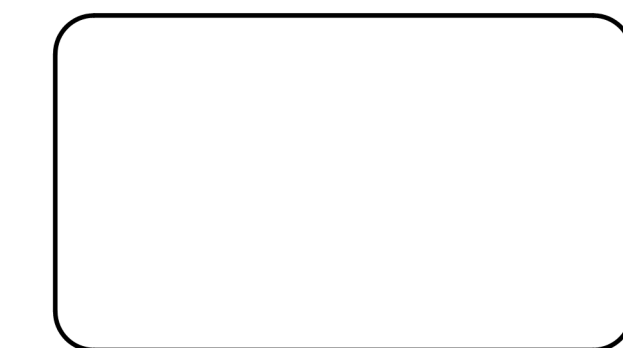
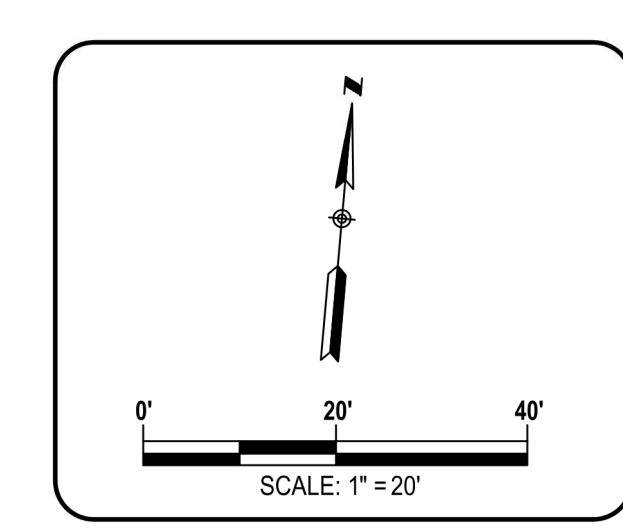
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811
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Call before you dig.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY NOTE

UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES, CITY/COUNTY AGENCIES AND OTHER VARIOUS SOURCES. UNDERGROUND UTILITIES WHICH ARE ON PRIVATE PROPERTY ARE USUALLY NOT DELINEATED UPON A UTILITY COMPANY'S PUBLISHED PLANS. THEIR LOCATION, IF SHOWN UPON THIS SURVEY, ARE APPROXIMATED FROM FOUND PAINT MARKERS, ETC. AS LOCATED BY THIS FIRM FROM SOURCES WHICH ARE UNKNOWN. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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PFROMM EDUCATION CENTER

WARREN, MI

TOPOGRAPHICAL SURVEY

SECTION 15
TOWN 01 NORTH RANGE 12 EAST
CITY OF WARREN
MACOMB COUNTY, MICHIGAN

NO.	DATE	REVISION

VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

DATE	DATE
01-14-20	01-14-20
01-14-20	01-14-20

PROJECT SURVEYOR	DEPARTMENT MANAGER
S. KEHRER	G. PLATZ
M. ANDREWS	C. PLATZ

PROJECT MANAGER: S. KEHRER
JOB NO.: NP19134
DRAWING NO.: NP19134TPG

SCALE: 1" = 20' SHEET NO. 1 OF 1